

15 TH STREET SEAL BEACH

Project Directory

Owner(s): David Davatoglu
Property Location: Berk Custom Homes
428 Old Newport Blvd
Newport Beach, CA 92663

Designer: Torrence Architects
Aaron Torrence
9503 Jefferson Blvd.
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T/F: (323) 272-3916

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205 S. Chapel Ave. #C2
Alhambra, CA 91801
T: (626) 389-7774

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El Cajon, CA 92020
T: (619) 736-2800

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Alhambra, CA 91803
United States
626-289-8808
perfecta2@gmail.com

Legal Description

Parcel ID Number: 04313108
Subdivision name: Old Town (OLDT)
Arb: None
Zoning: RHD-20
Zoning Map sheet: Old town and Bridgeport (page 2)
Hillside Area (zoning code): No
Parcel Area (sqft.): 3,750.0 sf

Project Information

Project Description: Major remodel with 1st and 2nd floor addition with attached garage to existing 1 story sld

Construction Type: TWO STORY, TYPE V-B
Building Occupancy: SFR
Building Height: 25'-0"
Flood Zone: X
Fire Sprinklers Required: Yes

Applicable Codes

2019 CALIFORNIA BUILDING CODE (CBC)
AMERICAN SOCIETY OF CIVIL ENGINEERING (ASCE) 7-05
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA FIRE CODE (CFC)
2019 ENERGY EFFICIENCY STANDARDS
2019 LA CITY GREEN BUILDING CODE
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)

Separate Permits

FIRE SPRINKLERS: NFPA 13D

Area Calculations

1) Allowable Residential Floor Area:
Lot size: 100.91' x 37.16' = 3,750 sf
max building area = 3,750 sf x 71.6% = 2,685 sf

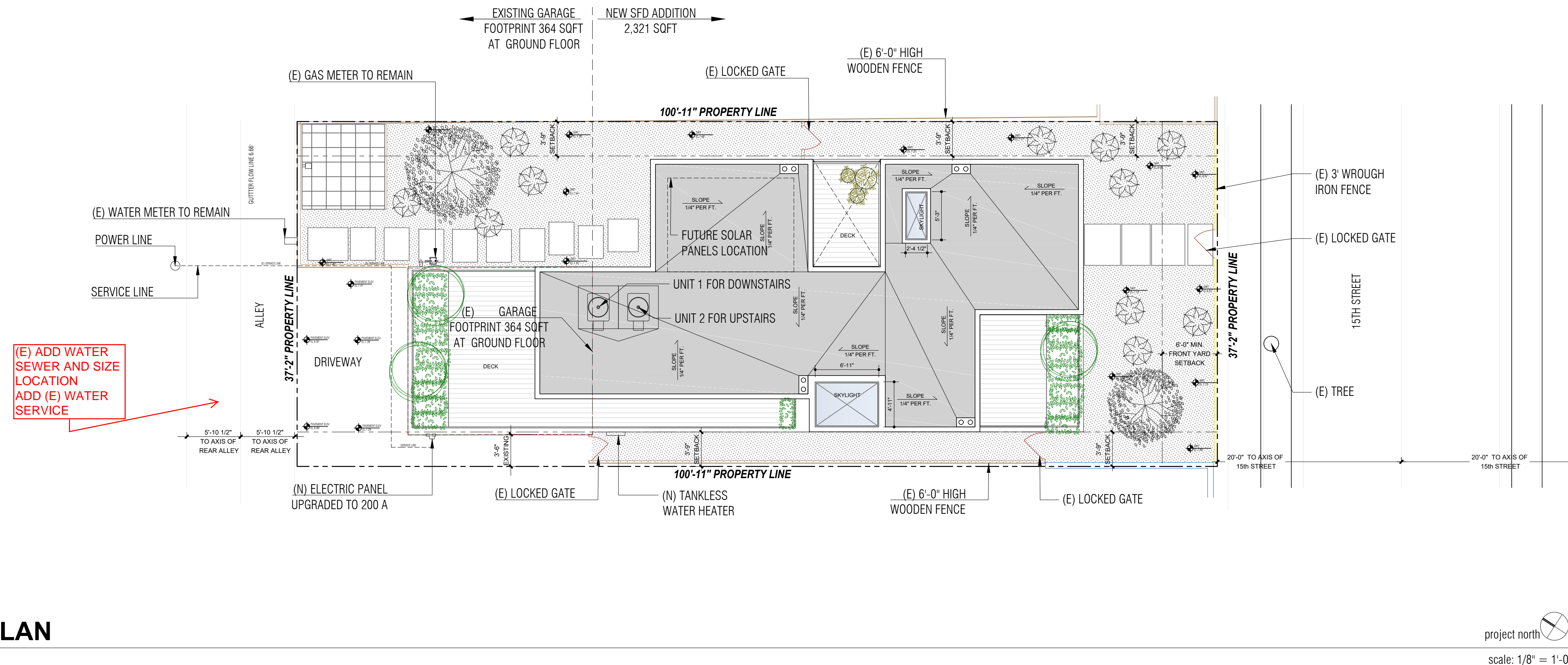
2) Building Floor Area Calculation:
Item: (E) First floor garage: 364 sf
(N) First floor: 1,393 sf
(N) Second floor: 928 sf
Total lot coverage provided: 2,685 sf
Allowable Bldg Area: 2,685 sf = Total Bldg Area provided of 2,685 sf therefore it is OK

Symbols

- dwg. no. sheet no. SECTION OR ELEVATION
- dwg. no. sheet no. INTERIOR ELEVATION
- dwg. no. sheet no. DETAIL
- DOOR REFERENCE WINDOW REFERENCE
- CENTER LINE
- BREAK LINE
- HEIGHT REFERENCE
- VEST 100 ROOM NAME
- ADDENDUM 1 REVISION 1

01 LOT PLAN

PROPOSED DESIGN

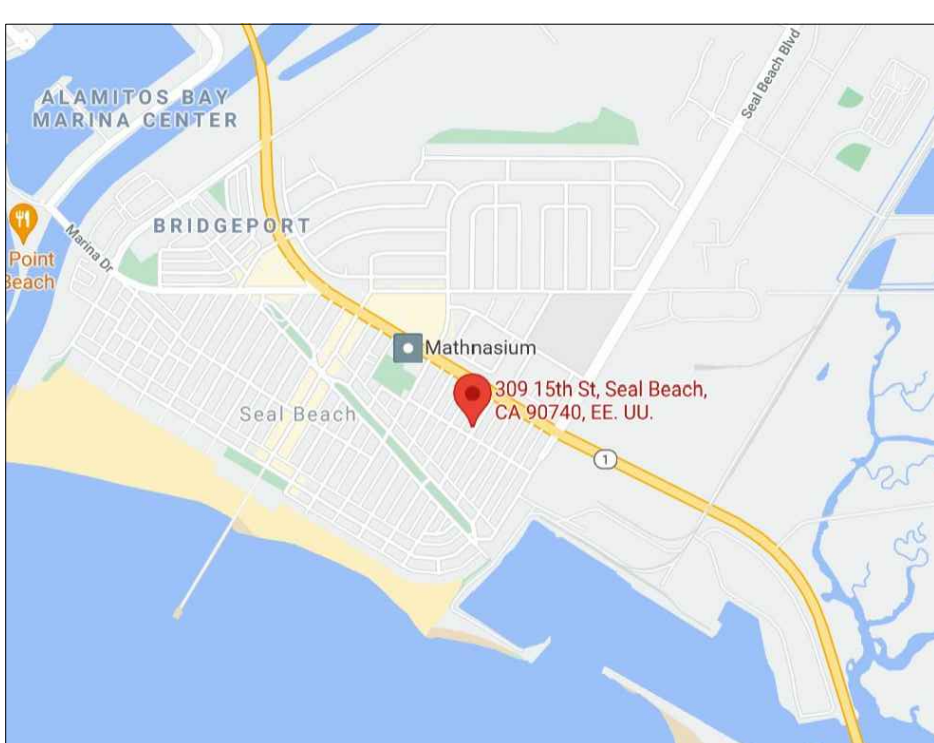


project north
scale: 1/8" = 1'-0"

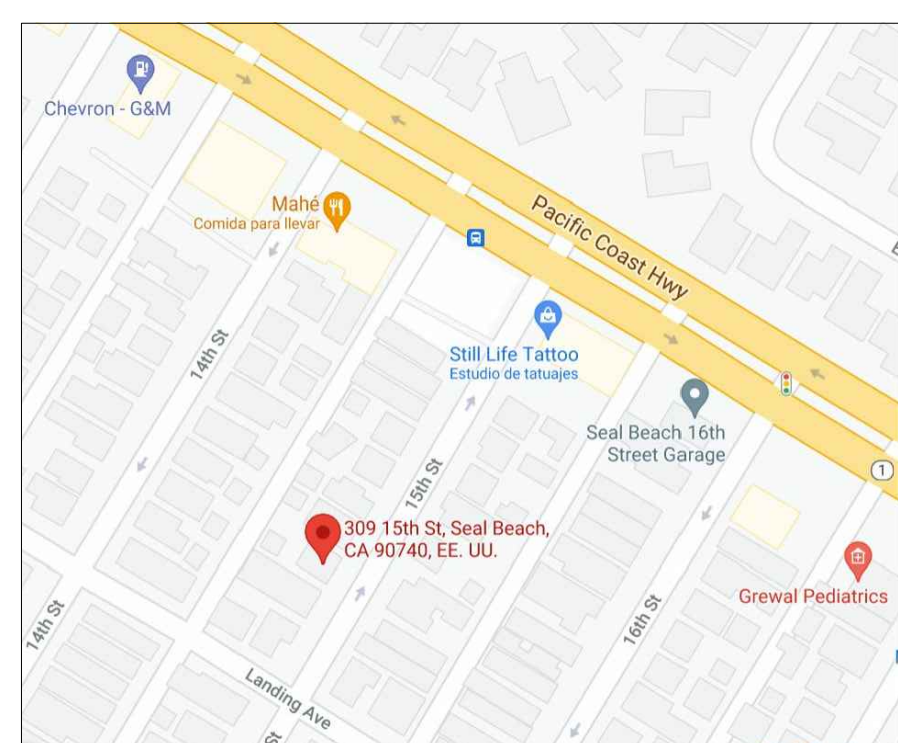
General Notes

- CONTRACTOR SHALL HAVE WORKMAN'S COMPENSATION FOR ALL PERSONS WORKING ON THE JOB.
 - CONTRACTOR SHALL GUARANTEE ALL WORK, LABOR, AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
 - ALL DRAWINGS ARE DIAGRAMMATIC, DO NOT SCALE PRINTS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE PLANS PRIOR TO PROCEEDING WITH THE WORK IN QUESTION INCLUDING BUT NOT LIMITED TO DEMOLITION, FOUNDATIONS, FRAMING, INSTALLATION OF DOORS AND WINDOWS, AND LANDSCAPING.
 - ALL WORK SHALL CONFORM TO THE CODES, REGULATIONS, AND STANDARDS OF THE GOVERNING CITY, COUNTY AND STATE AGENCIES.
 - ALL MATERIALS SHALL BE PREMIUM GRADE QUALITY THROUGHOUT. NO SUBSTITUTION OF SPECIFIED MATERIALS ALLOWED WITHOUT PRIOR APPROVAL FROM THE ARCHITECT.
 - CONTRACTOR SHALL REPAIR OR REPLACE ANY ITEM DAMAGED DURING THE COURSE OF CONSTRUCTION BY HIS EMPLOYEES OR SUB-CONTRACTORS.
 - CONTRACTOR SHALL PROVIDE A SATISFACTORY BALANCED F.A.U. TO ALL AREAS OF CONSTRUCTION, EXCEPT GARAGE OR AS SPECIFICALLY NOTED ON PLANS.
 - CONTRACTOR SHALL RELOCATE AND RECONNECT ANY UTILITY LINES INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL, GAS, SEWER, TELEPHONE, CABLE OR EQUIPMENT DISRUPTED BY NEW CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE WITH GOVERNING UTILITY COMPANIES PRIOR DISCONNECTING UTILITY LINES.
 - CONTRACTOR SHALL CAP OFF OR REMOVE ABANDONED EXISTING GAS LINES, VENTS, OR WATER LINES WITHIN WALLS, FOUNDATIONS OR BELOW FLOORS AS REQUIRED.
 - CONTRACTOR SHALL INSTALL ALL ITEMS PROVIDED BY THE OWNER, INCLUDING BUT NOT LIMITED TO SURFACE MOUNTED FIXTURES, BATHROOM ACCESSORIES, APPLIANCES.
 - CONTRACTOR SHALL MAINTAIN A BROOM CLEAN JOB SITE AND NOT ALLOW DEBRIS TO ACCUMULATE.
 - CONTRACTOR SHALL MAINTAIN A 6' CHAINLINK FENCE ENCLOSURE SURROUNDING PROPERTY THROUGHOUT CONSTRUCTION. AT NO TIMES SHALL VISITORS BE ALLOWED ON THE PROPERTY WITHOUT PRIOR AUTHORIZATION FROM OWNER.
 - CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE OWNER FOR EACH CHANGE ORDER PRIOR TO COMMENCING WITH THE WORK IN QUESTION. EACH CHANGE ORDER MUST BE INVOICED WITH THE NEXT PAYMENT REQUEST AFTER THE CHANGE ORDER WORK IS COMPLETED. EXTRA WORK DONE WITHOUT A WRITTEN CHANGE ORDER APPROVAL IS NOT REIMBURSABLE.
 - CONTRACTOR SHALL VERIFY WITH OWNER ALL FINISHES, FIXTURES AND MATERIALS NOTED ON THESE PLANS PRIOR TO ORDERING, INCLUDING BUT NOT LIMITED TO, WINDOWS AND DOORS, TILE, FLOORING, STUCCO, AND LANDSCAPING.
 - STRUCTURAL OBSERVATION WILL BE PERFORMED WHEN REQUIRED BY BUILDING OFFICIAL.
 - CONTRACTOR SHALL PROVIDE AN APPROVED SPARK ARRESTOR FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBECUE. THE WIRE MESH IS NOT TO EXCEED 1/2 INCH.
 - CONTRACTOR SHALL VERIFY WATER PRESSURE IN THE AREA. IF PRESSURE IS HIGH THE WATER SYSTEM SHOULD BE DESIGNED WITH A PRESSURE REDUCING VALVE AND INSTALLED.
 - AN APPROVED SEISMIC SHUT-OFF WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
 - CONTRACTOR SHALL MAINTAIN CURRENT DRAWING SETS ON SITE THROUGHOUT CONSTRUCTION. JOB COPIES OF THE BUILDING PLANS AND PERMITS AND MUST BE ON-SITE DURING INSPECTIONS.
 - CONTRACTOR IS RESPONSIBLE FOR COORDINATING SUB-CONSULTANTS TO COMPLETELY AND PROPERLY INSTALL ALL WORK DESCRIBED IN DRAWINGS.
- MATERIAL CONSERVATION AND RESOURCE EFFICIENCY
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES. PIPING PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 313.0 OF THE LOS ANGELES PLUMBING CODE (4.406.1)
 - MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE (4.407.4)
 - CONSTRUCTION WASTE SHALL BE REDUCED IN ACCORDANCE WITH IAMC SECTION 66.32 ET. SEQ. INDICATE HOW CONSTRUCTION WASTE WILL BE HANDLED. A) CITY OF LOS ANGELES CERTIFIED HAULER
 - AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION. FORM GRN 6 (4.410.1)
- ENVIRONMENTAL QUALITY
- WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED. (AQM RULE 445)
 - ALL DUCTS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATION EQUIPMENT.
 - ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1-4.504.3
 - THE VOCs AND FORMALDEHYDE LIMITS, FORM GRN 11, SHALL BE INCORPORATED INTO THE PLANS
 - A. THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION (4.504.2.4)
- B. ALL THE NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENT OF ONE OF THE FOLLOWING: I) CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM. II) CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350. III) NSF/ANSI 140 AT THE GOLD LEVEL. IV) SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD.
- C. ALL NEW CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM (4.504.3.1)
- D. 80% OF THE TOTAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: I) CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE. II) CERTIFIED UNDER U.S. GREENGUARD GOLD. III) CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM. IV) MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350 (4.504.4)
- E. NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5
- F. THE FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION (4.504.5)
- G. MECHANICALLY VENTILATED BUILDINGS SHALL PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH A MERV 13 FILTER FOR OUTSIDE AND RETURN AIR. FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL (4.504.6)
- H. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY THE BUILDING INSPECTOR (4.505.3)
- SHOW LOCATION OF NEWLY INSTALLED EXHAUST FANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS, OR TUB/SHOWER COMBINATIONS. PLANS SHALL STATE THAT THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING: I) FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. II) FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL (4.506.1)

Regional Map



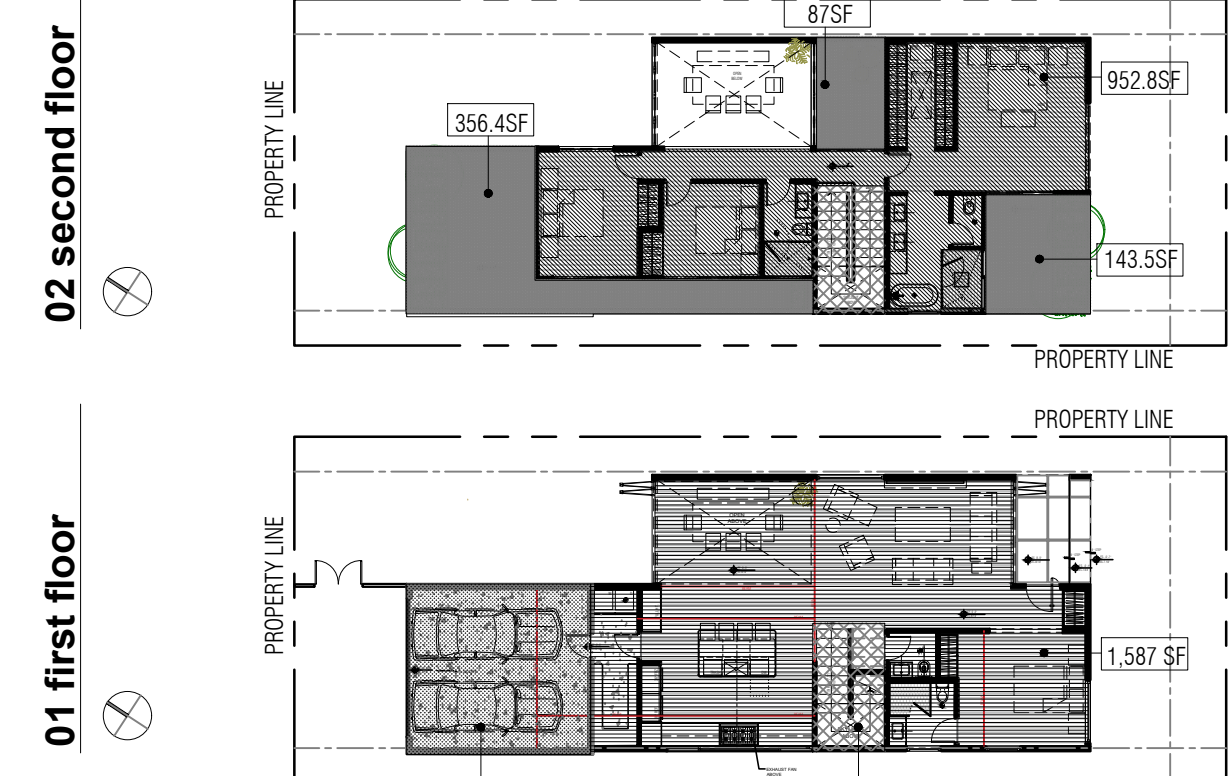
Vicinity Map



Sheet Index

sheet description	ARCHITECTURAL	STRUCTURAL
a0.1 title sheet, general notes	a4.0 arch sections	s-1 general notes
a0.2 survey site plan	a4.1 arch sections	s-2 foundation plan and details
a0.3 site plan	a4.2 arch sections	s-3 second floor plan and details
a0.4 general notes and door & window schedule	a5.0 wall sections	s-4 roof framing plan and details
a0.5 landscape plan	a6.0 details	s-5.1 concrete details for slab on grade
a0.6 landscape details and specs	a6.1 details	s-5.2 concrete details for raised floor
a0.7 general notes cont.	a7.0 interior elevations	s-6 wood details
a0.8 general notes cont., green notes (1)	a7.1 interior elevations	s-7 details
a0.9 general notes cont., green notes (1)	a7.2 interior elevations	
a1.0 ground floor demo plan	a7.3 interior elevations	
a1.2 grading-foundation plan	a7.4 interior elevations	
a2.0 proposed ground floor plan		
a2.1 proposed second floor plan		
a2.2 roof plan		
a2.3 ground floor RCP		
a2.4 second floor RCP		
a3.0 exterior elevations		
a3.1 exterior elevations		

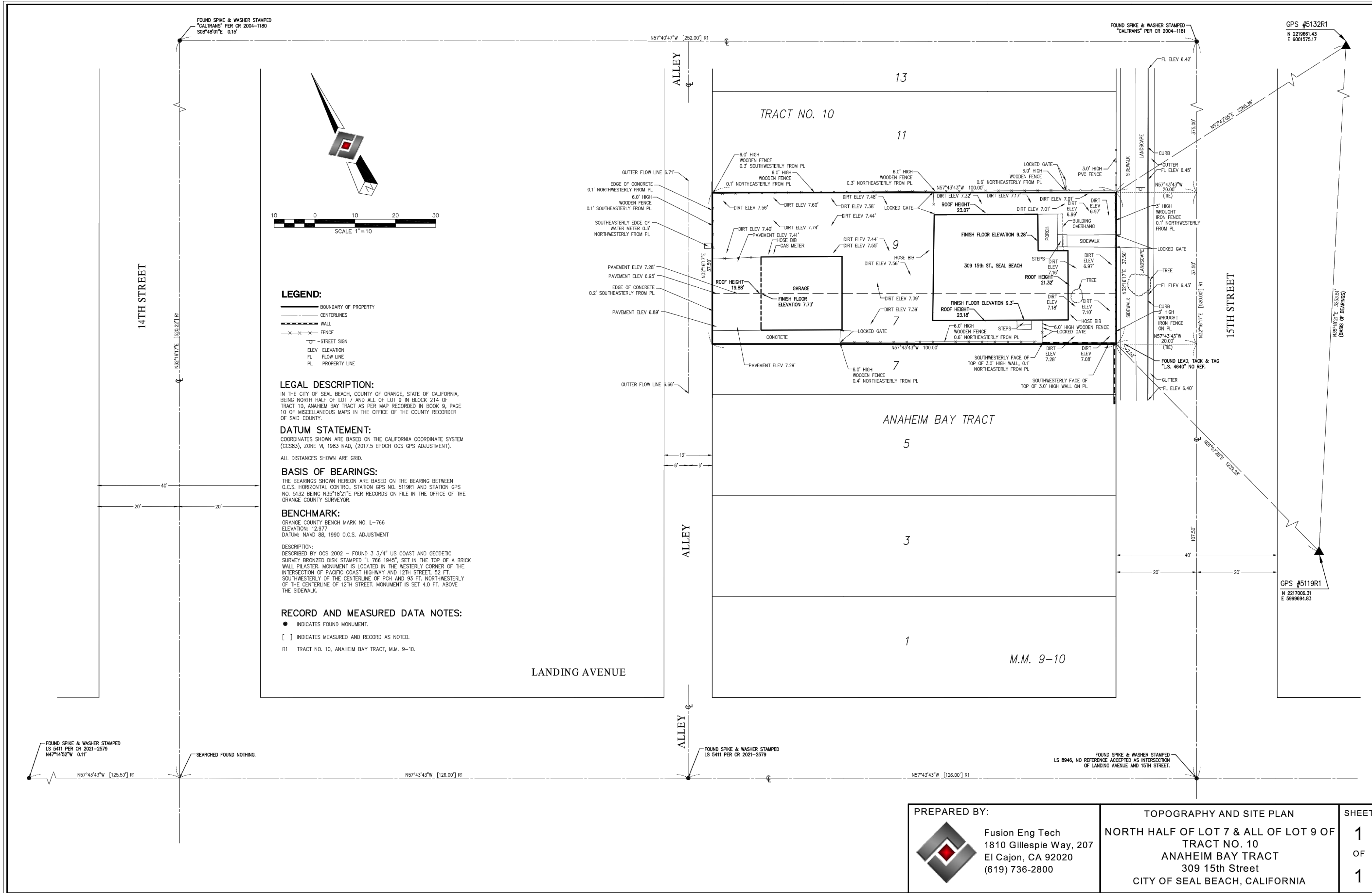
Parcel Coverage Calcs



Legend	Area
2nd story new construction	+ 928 sf
staircase area at second floor	-106.3 sf
roof deck, not enclosed area	356.4 + 87 + 143.5 = 586.9 sf
Total (N) area at second floor	928 sf (N)
1 st floor new construction	1,587 sf (N)
1 st floor new staircase	106 sf (N)
existing garage	364 sf (E)
Total area at first floor	1,993 + 364 sf = 1,757 sf
total lot coverage provided	928 + 1,757 = 2,685 sf

A0.1


DESCRIPTION:
title sheet



ISSUED FOR:	DATE:	REVISION:	DATE:
SCHEMATIC CONCEPT	21/04/20		
PRELIMINARY DESIGN	21/05/21		

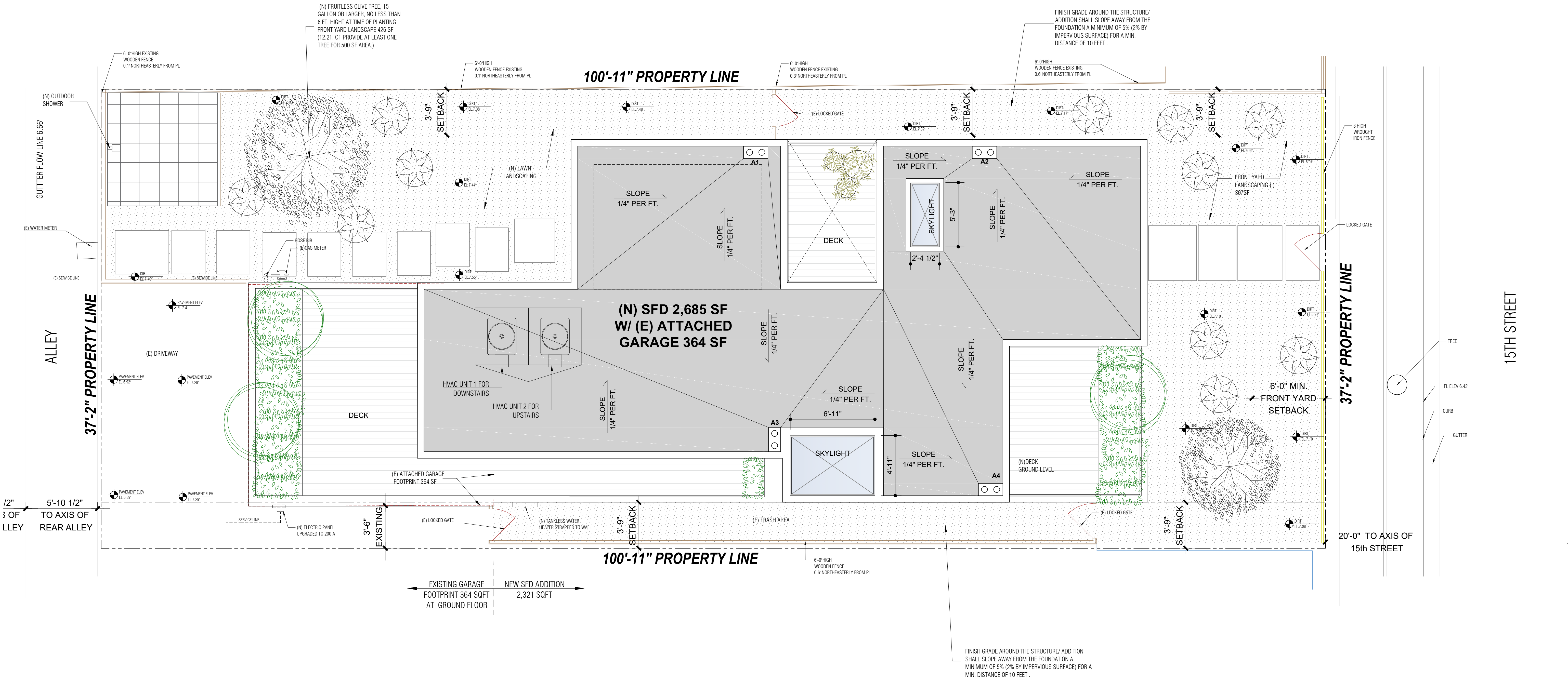
ISSUED FOR:	DATE:	REVISION:	DATE:
SCHEMATIC CONCEPT	21/04/20		
PRELIMINARY DESIGN	21/05/21		

DESCRIPTION:
 survey site plan

PREPARED BY:  Fusion Eng Tech 1810 Gillespie Way, 207 El Cajon, CA 92020 (619) 736-2800	TOPOGRAPHY AND SITE PLAN NORTH HALF OF LOT 7 & ALL OF LOT 9 OF TRACT NO. 10 ANAHEIM BAY TRACT 309 15th Street CITY OF SEAL BEACH, CALIFORNIA	SHEET 1
		OF 1

ISSUED FOR:	DATE:	REVISION:	DATE:
SCHEMATIC CONCEPT	21-04-20		
PRELIMINARY DESIGN	21-08-11		

DESCRIPTION:
 site plan



01 SITE PLAN
 PROPOSED DESIGN

project north
 scale: 1/4" = 1'-0"

A0.3

window schedule

ID #	TYPE	QTY.	DIMENSION		SILL HT. AFF	DESCRIPTION	MATERIAL	GLAZING	OPERATION	NOTES	U FACTOR	SHGC
			WIDTH	HEIGHT								
100	W3	01	7'-4 1/2"	6'-6"	3'-6"	LIVING ROOM	3,4	5,6,7	AWNING	SCR1	0.32	0.25
101	W4	01	15'-9"	6'-6"	3'-6"	KITCHEN	3,4	5,6,7	(2) SLIDERS, (1)FIXED	SCR1	0.32	0.25
102	W2	01	3'-9 1/2"	6'-6"	3'-6"	BATH 3	3,4	5,6,7	CASEMENT	SCR1	0.32	0.25
103	W5	01	3'-9 1/2"	6'-6"	3'-6"	GUEST ROOM	3,4	5,6,7	CASEMENT, EGRESS	SCR1	0.32	0.25
104	W1	01	6'-9 1/2"	6'-6"	3'-6"	GUEST ROOM	3,4	5,6,7	FIXED		0.32	0.25
200	W7	01	9'-6"	10'-0"	0'-0"	MASTER BATHROOM	3,4	5,6,7	SLIDER, FIXED	SCR1	0.32	0.25
201	W1	01	9'-6"	10'-0"	0'-0"	MASTER BEDROOM	3,4	5,6,7	FIXED		0.32	0.25
202	W1	01	11'-2"	6'-6"	3'-6"	GREEN ROOF	3,4	5,6,7	FIXED		0.32	0.25
203	W5	01	11'-2"	10'-0"	3'-6"	DINING ROOM	3,4	5,6,7	FIXED		0.32	0.25
204	W1	01	5'-11 1/2"	10'-0"	0'-0"	BEDROOM 3	3,4	5,6,7	FIXED		0.32	0.25
205	W2	01	3'-2"	10'-0"	0'-0"	BATH 2	3,4	5,6,7	CASEMENT	SCR1	0.32	0.25
206	W8	01	3'-9 1/2"	10'-0"	0'-0"	MASTER BATH	3,4	5,6,7	FIXED		0.32	0.25
300	W6	01	4'-11" x 6'-11"	-	-	ROOF - ABOVE STAIRS	3,4	5,6,7	NOT OPERABLE	SKYLIGHT	0.32	0.25
301	W6	01	5'-3" x 2'-4"	-	-	ROOF - ABOVE W.I.C.	3,4	5,6,7	NOT OPERABLE	SKYLIGHT	0.32	0.25

door and frame schedule

NOTE: ALL EXTERIOR WINDOWS ARE NEW AND REQUIRED TO BE TEMPERED GLAZING AND MULTILAYERED GLAZING PER UWIC SEC. 504.9

ID #	TYPE	QTY.	DIMENSION			DESCRIPTION	DOOR		GLAZING	FRAME		HARDWARE	NOTES
			WIDTH	HEIGHT	THICK		MATERIAL	FINISH		MATERIAL	FINISH		
100	D1	01	3'-11"	8'-6"	1 3/4"	ENTRY	2	5		1	2	L1, S1	NEW, PIVOT
101	D4	01	11'-2"	10'-0"	1 3/4"	LIVING ROOM	4	7	5,6,7	3	8	L2, S1	NEW, ACCORDION, 4 PANELS
102	D4	01	11'-2"	10'-0"	1 3/4"	DINING ROOM	4	7	5,6,7	3	8	L2, S1	NEW, ACCORDION, 4 PANELS
103	D2	01	2'-10"	6'-8"	1 3/4"	MUD ROOM	1	2		1	2	L2, S1	NEW
104	D2	01	2'-10"	6'-8"	1 3/4"	GARAGE SIDE DOOR	9	5		1	2	L2, S1	NEW, 20 MIN FIRE PROTECTION REQUIRED
105	D7	01	5'-2"	6'-8"	1 3/4"	GARAGE CAR DOOR	3	8	-	2	8	L2, S1	NEW, CAR PORT, MOTOR
106	D2	01	2'-10"	6'-8"	1 3/4"	POWDER ROOM	1	2		1	2	L3, S1	NEW
107	D2	01	2'-10"	6'-8"	1 3/4"	BATHROOM 3	1	2		1	2	L3, S1	NEW
108	D3	01	7'-10 1/2"	10'-0"	1 3/4"	MULTI PURPOSE ROOM	1	2		1	2	L5, S1	NEW, SLIDER FARM DOOR, 2 PANELS
200	D5	01	7'-3 1/2"	10'-0"	1 3/4"	MASTER BEDROOM TO OUTSIDE DECK	4	7	5,6,7	3	8	L2, S1	NEW, SWING DOORS, 2 PANELS, EGRESS
201	D2	01	2'-10"	6'-8"	1 3/4"	TOILET ROOM	1	2		1	2	L3, S1	NEW
202	D3	01	3'-0"	6'-8"	1 3/4"	MASTER BATHROOM	1	2		1	2	L5, S1	NEW, POCKET DOOR
203	D2	01	2'-10"	6'-8"	1 3/4"	MASTER SUITE	1	2		1	2	L2, S1	NEW
204	D5	01	7'-3 1/2"	10'-0"	1 3/4"	ROOF DECK	4	7		3	8	L2, S1	NEW, SWING DOORS, 2 PANELS
205	D5	01	2'-10"	6'-8"	1 3/4"	BATHROOM 2	1	2		1	2	L3, S1	NEW
206	D2	01	2'-10"	6'-8"	1 3/4"	BEDROOM 2	1	2		1	2	L4, S1	NEW
207	D5	01	7'-3 1/2"	10'-0"	1 3/4"	BEDROOM 2 TO OUTSIDE DECK	4	7	5,6,7	3	8	L2, S1	NEW, SWING DOORS, 2 PANELS, EGRESS
208	D2	01	2'-10"	6'-8"	1 3/4"	BEDROOM 3	1	2		1	2	L4, S1	NEW
209	D5	01	7'-3 1/2"	10'-0"	1 3/4"	BEDROOM 3 TO OUTSIDE DECK	4	7	5,6,7	3	8	L2, S1	NEW, SWING DOORS, 2 PANELS, EGRESS

- | | | |
|------------|--------------------------------------|---|
| 1 WOOD | 5 DUAL-PANE | LOCKSET - LEVER & CYLINDER BY OWNER/ARCHITECT:
L1 CONTRACTOR INSTALLED- ENTRY
L2 CONTRACTOR INSTALLED- KEYED
L3 CONTRACTOR INSTALLED- BATH PRIVACY
L4 CONTRACTOR INSTALLED- PASSAGE
L5 CONTRACTOR INSTALLED- POCKET |
| 2 PAINT | 6 TEMPERED | |
| 3 ALUMINUM | 7 LOW-E | |
| 4 GLASS | 8 SILVER ANODIZED | |
| | 9 SOLID WOOD OR HONEYCOMB CORE STEEL | |

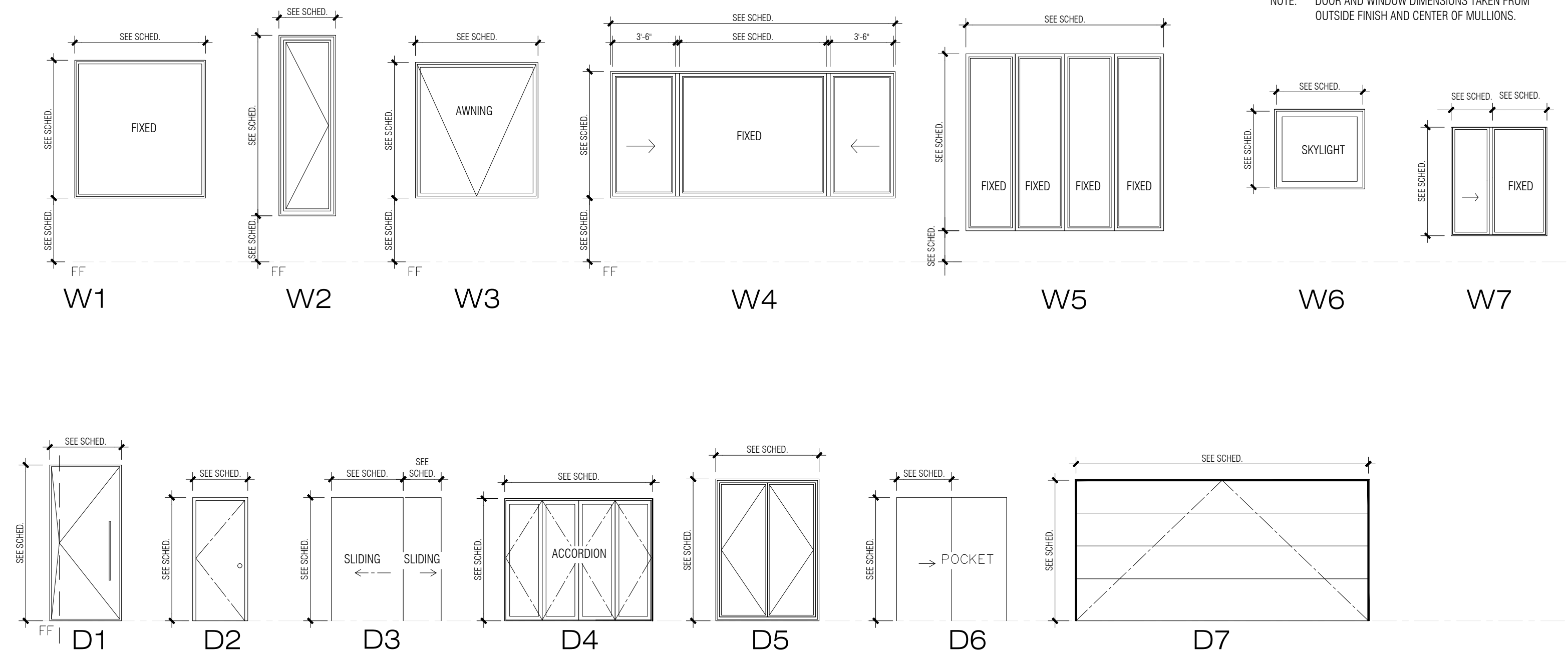
- CLOSERS:**
C1 OWNER PROVIDED
- BUTTS:**
B1 OWNER PROVIDED

- PUSH/PULL BARS:**
P11 OWNER PROVIDED
- SCREEN:**
SCR1 OWNER PROVIDED

- STOPS:**
S1 OWNER PROVIDED, CONTRACTOR INSTALLED
- THRESHOLDS:**
T1 OWNER PROVIDED

door and window types

NOTE: FOR ALL DIMENSIONS, SEE SCHEDULE. CONTRACTOR SHALL VERIFY ROUGH OPENING DIMENSIONS, HEADER AND SILL HEIGHTS WITH ARCHITECT PRIOR TO ORDERING DOORS AND WINDOWS.



general door notes

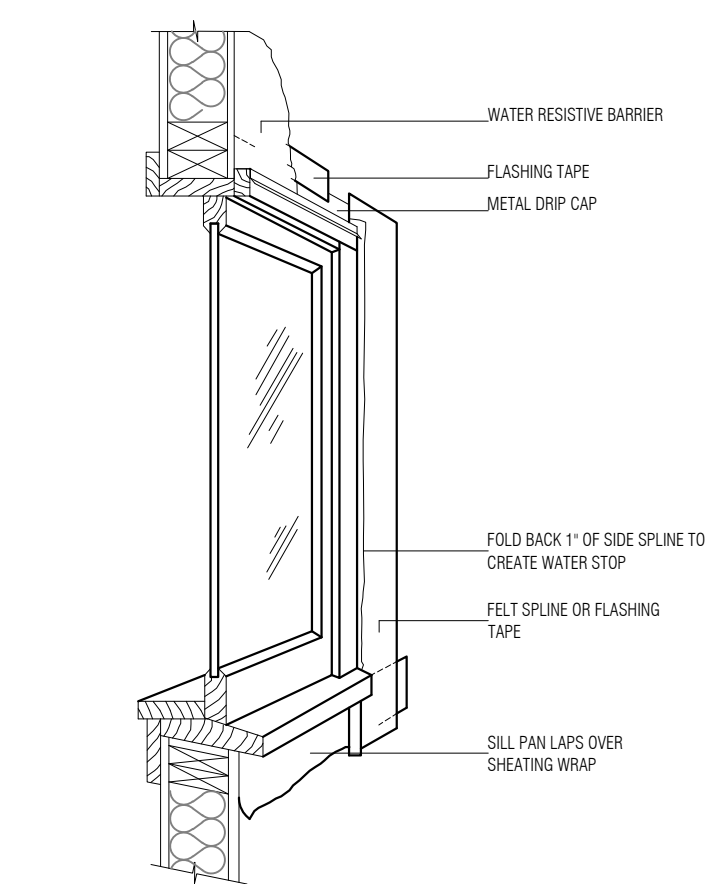
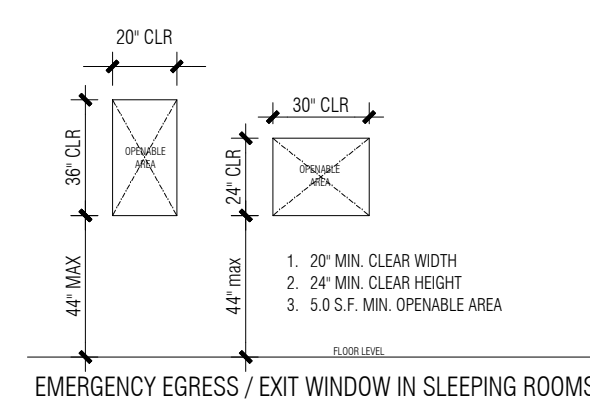
- ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. (6706)
- SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES. (6707)
- WOOD FLUSH-TYPE DOORS SHALL BE 1-3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. 91.6709.1 - DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB. (6709.4)
- ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES S HALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. (6709.5, 6709.7)
- PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, AND S OCCUPANCIES). (6709.2)
- STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". (6709.2)
- WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 IN. THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4 IN. THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8 INCHES AND 3 INCHES IN WIDTH. (91.6709.1 ITEM 2)
- SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL FROM TRACK WHILE IN THE CLOSED POSITION. (6710)
- SLIDING GLASS DOORS PANELS SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.1
- METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. (6711)
- PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. (6712)
- GLAZED OPENINGS WITHIN 40° OF THE REQUIRED LOCKING DEVICE OF THE DOOR, WHEN THE DOOR IS IN THE CLOSED AND LOCKED POSITION AND WHEN THE DOOR IS OPENABLE FROM THE INSIDE WITHOUT USE OF KEY, SHALL BE FULLY TEMPERED GLASS PER SECTION 2406, OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO SLIDE GLASS DOORS WHICH CONFORM TO THE PROVISIONS OF SECTION 6710 OR TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS. (6713)
- LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY. (6715.3)
- OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN GROUP B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. (6715.2)
- SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICES. A DEVICE SHALL BE INSTALLED IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. (6715.1)
- SLIDING GLASS WINDOWS SASH SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. (6717.2)
- ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. (6715.4)
- ALL OTHER OPENINGS OTHER THAN DOORS OR GLAZED OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION. (6716.6)

general door notes continued

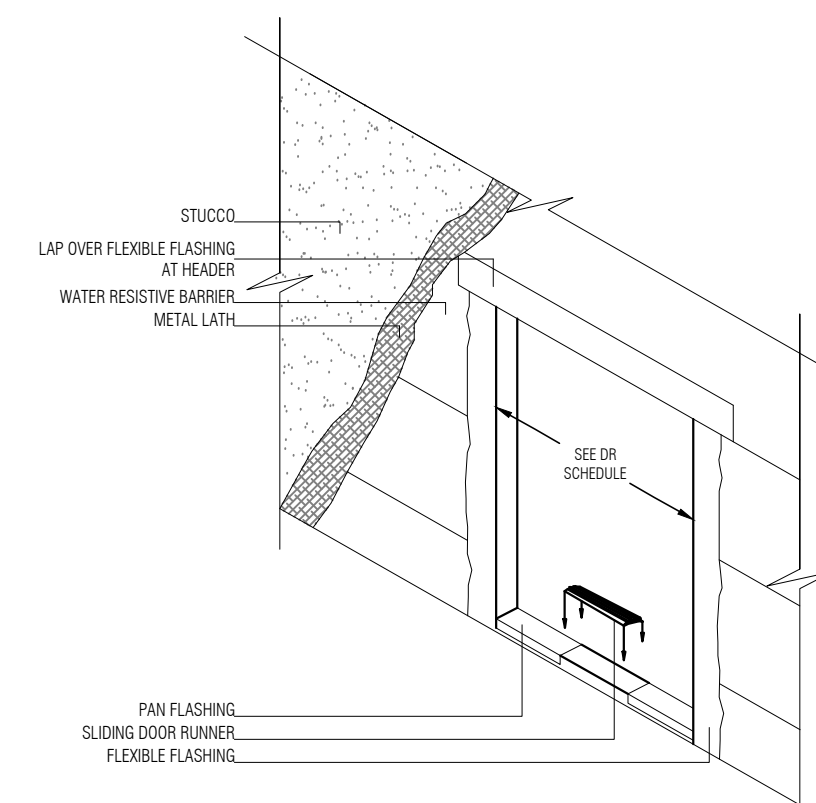
- INSTALL OWNER PROVIDED HARDWARE AS REQUIRED TO COMPLETE WORK AS SHOWN ON PLANS FOR A COMPLETE AND PROPER INSTALLATION.
- ALL INTERIOR AND EXTERIOR DOOR HARDWARE SHALL BE CONSIDERED SCHLAGE D-SERIES. OWNER SHALL PROVIDE HARDWARE AS NOTED ON SCHEDULE.
- POCKET DOORS SHALL HAVE PULLS AS PER SCHEDULE. SLIDING HARDWARE TO BE ON ALLOWANCE (\$200 EA. DOOR).
- ALL HARDWARE SHALL HAVE BRUSHED CHROME FINISH. CONTRACTOR SHALL PROVIDE OWNER WITH SAMPLES PRIOR TO INSTALLATION.
- INTERIOR DOOR FRAMES SHALL BE 1x FR WITH CASING TO MATCH EXISTING.
- INTERIOR POCKET DOORS SHALL BE FINISHED W/ 2 COATS SANDING SEALER AND 2 COATS PAINT, COLOR TO MATCH EXISTING, HUNG ON METAL TRACKS, W/ METAL PULL-LATCHES AND LOCKS, W/ KERF CUT AT BOTTOM TRACK.
- INTERIOR DOORS & CLOSET DOORS SHALL BE FINISHED W/ 2 COATS SANDING SEALER AND 2 COATS PAINT, COLOR TO MATCH EXISTING.
- DOOR STOPS OF IN-SWINGING DOOR SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB. (91.6709.4)
- ALL EXTERIOR DOORS SHALL BE FULLY WEATHERSTRIPPED AND SHALL HAVE A SUITABLE THRESHOLD TO PREVENT THE PASSAGE OF AIR AND WATER FROM THE EXTERIOR.
- WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 IN. THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4 IN. THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH (91.6709.1)
- ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEADBOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. (91.6709.5, 91.6709.7)
- PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR LOCKS MUST BE OPERABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT.
- STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MIN. THROW OF 3/4". (91.6709.2)
- SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.
- SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO TESTS SPECIFIED IN 91.6717.1

general window notes

- ALL MULLIONS SHOWN ON PLANS ARE TO BE TRUE DIVIDED LIGHTS. THERE ARE TO BE NO "MUTIN BARS" (DIVIDED BETWEEN THE GLASS PANE) UNLESS SPECIFICALLY NOTED.
- ALL WINDOWS ARE TO BE INSTALLED WITH 6" WIDE BUTYRANE AROUND ALL SIDES.
- PROVIDE MANUFACTURER'S SCREEN ON ALL OPERABLE WINDOWS AND SLIDING DOORS
- ALL WINDOW SYSTEMS, INCLUDING ALL CLERESTORY WINDOWS, TO BE 1 3/4" x 4 1/2" FRONT GLAZED STOREFRONT SYSTEM BY TM COBB OR EQUAL.
- PROVIDE GLAZING AND ACCESSORIES WHERE SHOWN ON THE DRAWINGS AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION.
- PROVIDE TEMPERED OR HEAT-STRENGTHENED GLASS WHERE INDICATED ON THE SCHEDULE AND ELSEWHERE AS REQUIRED BY GOVERNMENTAL AGENCIES HAVING JURISDICTION. SEE GENERAL NOTE #48.
- MIRRORS SHALL BE 1/4" POLISHED PLATE AND INSTALLED IN EACH BATHROOM. SIZE AND LOCATION SHALL BE OWNER APPROVED.
- SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.
- SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN 91.6717.2



1 WINDOW FLASHING DETAIL
N.T.S.



2 DOOR FLASHING DETAIL
N.T.S.

general notes

GENERAL INFORMATION

THESE NOTES AND DRAWINGS HAVE BEEN COMPILED TO ASSIST THE USER IN COMPLYING WITH PLAN AND CONSTRUCTION REQUIREMENTS FOR VARIOUS TYPE OF LIGHT CONSTRUCTION FREQUENTLY EXPERIENCED FOR RESIDENTIAL CONSTRUCTION. IT IS ANTICIPATED THAT THE PUBLICATION OF THIS MATERIAL WILL ASSIST IN THE UNDERSTANDING OF MINIMUM CITY REQUIREMENTS, AND WILL BE USED AS A COMMUNICATION AID BETWEEN CONSTRUCTORS, INSPECTORS, AND PLAN CHECKERS.

THE INFORMATION CONTAINED HEREIN CAN BE USED AS TYPICAL CONSTRUCTION DETAILS WHEN ACCOMPANIED BY APPROPRIATE COMPLETE PLOT PLAN, FLOOR PLAN, FOUNDATION PLAN, FLOOR AND ROOM FRAMING PLANS. CAN BE USED FOR SMALL REMODELING OR CONSTRUCTION SUBMITTALS IF DESIRED.

THE USER OF THIS INFORMATION IS ADVISED THAT USE OF THE TYPICAL STANDARDS CONTAINED HEREIN MIGHT BE MORE RESTRICTIVE THAN PLANS AND CALCULATIONS WHICH MIGHT BE PREPARED AND ACCEPTED BY QUALIFIED ENGINEERS, ARCHITECTS, AND DESIGNERS. WHERE DESIRED MATERIAL IS NOT INDICATED ON THESE TYPICAL CONSTRUCTION DETAILS, A DESIGN PROFESSIONAL SHOULD BE CONSULTED.

LIMITATIONS ON USE

BY FOLLOWING THE GUIDELINES LISTED BELOW, PLANS FOR A TYPICAL WOOD FRAMED HOME MAY BE PREPARED WITHOUT THE REVIEW OF A PROFESSIONAL ARCHITECT OF ENGINEER. NEVERTHELESS, WE ENCOURAGE YOU TO SEEK THE ADVICE AND REVIEW OF A PROFESSIONAL ARCHITECT OR ENGINEER, EVEN IF THE CODE DOES NOT REQUIRE IT.

WHEN OF UNUSUAL SHAPE, AN ENGINEERING DESIGN SHALL BE PROVIDED FOR THE LATERAL-FORCE-RESISTING SYSTEM OF LIGHT-FRAME CONSTRUCTION. STRUCTURES NOT MEETING ALL OF THE FOLLOWING SHALL BE CONSIDERED TO CONSTITUTE AN UNUSUAL SHAPE.

- *STRUCTURES TWO STORIES IN HEIGHT NOT CONTAINING SPLIT LEVELS
- *RECTANGULAR OR L-SHAPED IN PLAN (NOT UNDULY IRREGULAR)
- *CONTINUOUS EXTERNAL AND INTERNAL BEARING STUD WALL TYPE FOOTINGS (NO SPREAD FOOTINGS OR STEPPED FOOTINGS)
- *GABLE, HIPPED, OR FLAT ROOF (NO GAMBREL, SHED, OR SPLIT SHED)
- *FLAT ROOFS PITCH BETWEEN ¼ IN 12 AND GABLE OR HIPPED ROOFS PITCH BETWEEN 3 IN 12 AND 6 IN 12 INCLUSIVE.
- *WALL STUD, JOIST, RAFTER, PURLIN SPACING NOT EXCEEDING THOSE ON THE CITY APPROVED SPAN TABLES
- *THE SHEAR WALLS SHALL BE LAID OUT CONSTRUCTED, TIED TO THE STRUCTURE AS NOTED ON SHEET
- *WHEN AN OPENING IN A FLOOR OR ROOF EXCEEDS THE LESSER OF 12 FEET OR 50 PERCENT OF THE LEAST FLOOR OR ROOF DIMENSION.
- *WHEN A SECTION OF FLOOR OR ROOF IS NOT Laterally SUPPORTED BY BRACED WALL LINES ON ALL EDGES

EXEMPTION: PORTIONS OF ROOFS OR FLOORS WHICH DO NOT SHEAR WALL PANELS ABOVE MAY EXTEND UP TO 5 FEET BEYOND A BRACE WALL LINE
 *CONSTRUCTION WHERE PORTIONS OF A FLOOR LEVEL ARE VERTICALLY OFFSET SUCH THAT THE FRAMING MEMBERS ON EITHER SIDE OF THE OFFSET CANNOT BE LAPPED OR TIED TOGETHER IN AN APPROVED MANNER

EXEMPTION: FRAMING SUPPORTED DIRECTLY BY FOUNDATIONS

ANY SPECIAL FEATURE NOT INCLUDED ABOVE WHICH WOULD ADVERSELY AFFECT THE STRUCTURAL STABILITY OF THE BUILDING, OR WHICH MAY REQUIRE A STRUCTURAL ANALYSIS WILL CLASSIFY THE BUILDING AS A NON-CONVENTIONAL STRUCTURE REQUIRING AN ENGINEER'S OR ARCHITECT'S REVIEW AND SIGNATURE IN ACCORDANCE WITH THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.

1- ALL CONSTRUCTION AND QUALITY OF MATERIALS SHALL CONFORM TO THE 1997 UBC, 2000 UPC, 2000 UMC, 1999 NEC WITH THE 2001 STATE OF CALIFORNIA AMENDMENTS, AS PUBLISHED BY THE STATE OF CALIFORNIA BUILDING SANDARDS COMMISSION

2- ALL MATERIAL FROM FOOTING EXCAVATION TO BE REMOVED AND SHOULD NOT BE USED UNDER THE SLAB ON GRADE

3- ANCHOR BOLTS, DOWELS, INSERTS, HARDWARE, ETC. SHALL BE SECURETILY TIED IN PLACE PRIOR TO POURING CONCRETE

GENERAL INFORMATION

4- FULLY DIMENSIONED PLOT PLAN SHOWING EXISTING BUILDINGS MUST BE PROVIDED

5- ALL HABITABLE ROOMS SHALL HAVE 10 SQFT. MINIMUM OR 1/10 OF FLOOR AREA, WHICHEVER IS GREATER, OF WINDOW AREA, 1/2 OF THIS IS REQUIRED AREA IS TO BE OPENABLE

6- HABITABLE ROOMS SHALL BE AT LEAST 70 SQUARE FEET WITH NO DIMENSIONS LESS THAN 7'-0" AND A CEILING HEIGHT OF NOT LESS THAN 7'-6" EXCEPT AS OTHERWISE PREMMITTED.

7- MINIMUM CEILING HEIGHT FOR LAUNDRY ROOMS, HALLWAYS, CORRIDORS, KITCHENS AND BATHROOMS WILL BE 7'-0"

8-BATHROOMS TO HAVE MINIMUM 3 SQFT OF WINDOW AREA, 1/2 OPENABLE OR AN APPROVED MECHANICAL VENTILATION SYSTEM

9-ALL WALLS AND PARTITION SHALL BE EFFECTIVELY FIRE STOPPED WITH 2X MATERIAL THE FULL WIDTH OF THE STUDS OF THE FLOOR, CEILING, AND BETWEEN FLOOR AND CEILING AT INTERVALS NOT TO EXCEED 10' VERTICALLY.

10- BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE EMERGENCY EGRESS WINDOW. THE EGRESS WINDOW MUST PROVIDE A MINIMUM OPENING OF 20" WIDE, 24" HIGH, 5.7 SQFT. AND THE SILL NO HIGHER THAN 44" ABOVE THE FINISHED FLOOR.

11-ALL SURFACES OF THE GARAGE ADJACENT TO THE HOUSE WILL BE PROVIDED WITH MATERIAL APPROVED FOR ONE-HOUR CONSTRUCTION. DOORWAYS IN SUCH WALLS WILL BE 1-3/8 " SOLID WOOD SELF-CLOSING.

12- THERE WILL BE NO OPENINGS BETWEEN A PRIVATE GARAGE AND A ROOM USED FOR SLEEPING PURPOSES

13- AN ATTIC ACCESS THAT IS A MIN. 22"X30" WILL BE PROVIDED

14- ROOF COVERINGS AND INSTALLATION WILL CONFORM WITH UBC, AND SHALL BE OF A MIN. CLASS-B (CLASS A REQUIRED IN SANTA PAULA)

15- ALL GLASS DOORS WILL BE SAFETY GLASS. ALL WINDOWS WITHIN 24" OF DOORS AND WITHIN 51 OF THE FLOOR WILL BE SAFETY GLASS. WINDOWS WITHIN 5' OF STAITS OR STAIR LANDINGS AND LESS THAN 60" ABOVE THE WALKING SURFACE SHALL BE SAFETY GLAZING

16- AN APPROVED SMOKE ALARM WILL BE INSTALLED IN EACH BEDROOM AND AT A POINT CENTRALLY LOCATED IN THE HALLWAY OR AREA PROVIDING ACCESS TO EACH SEPARATE BEDROOM. WHERE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING BEDROOMS EXCEED THAT OF THE HALLWAY BY 24" OR MORE, SMOKE ALARMS WILL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. IN DWELLINGS WITH MORE THAN ONE STORY, SMOKE ALARMS WILL BE INSTALLED IN EACH STORY AND IN THE BASEMENT. SMOKE ALARMS SHALL BE HARD WIRED AND EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED.

ELECTRICAL

1- RECEPTABLES WILL BE PROVIDED AROUND THE PERIMETER OF HABITABLE ROOMS SO THAT A RECEPTACLE IS LOCATED WITHIN 6' FROM ANY POINT ALONG THE WALL, INCLUDING ONE ON WALLS 2' OR WIDER.

2-AT KITCHEN AND DINING AREA COUNTERS RECEPTABLES SHALL BE INSTALLED AT ALL COUNTER SPACES 12" OR WIDER, LOCATED WITHIN 6' FROM ANY POINT ALONG THE WALL, INCLUDING ONE ON WALLS 2' OR WIDER.

3- A RECEPTABLE WILL BE INSTALLED IN HALLWAYS OVER 10 FT.

4- AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTNING OUTLET (FIXTURE) SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM, HALLWAY, STAIRWAY, ATTACHED GARAGE, AND DETACHED GARAGE WITH ELECTRICAL POWER, AND AT ALL EXTERIOR DOORS.

5- BEDROOM RECEPTABLES WILL BE PROVIDED WITH AN ARC FAULT INTERRUPTER CIRCUIT.

ELECTRICAL (Continued)

6- ELECTRICAL SERVICE PANELS WILL BE GROUNDED WITH A #4 COPPER ELECTRODE 20' LONG ENCASED IN THE CONCRETE FOOTINGS AND BONDED TO COLD WATER PIPE

7- RECEPTABLES LOCATED AT EXTERIOR, GARAGE, BATHROOM AND KITCHEN RECEPTABLES SERVING COUNTER TOPS SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER PROTECTION (GFCI)

8- RECEPTABLES SHALL BE PROVIDED IN THE FRONT AND REAR YARDS OF THE DWELLING AND SHALL BE PROTECTED WITH A GFCI AND WATERPROOF.

9- ALL BATHROOM RECEPTABLES WILL BE PROTECTED WITH GFCI.

10-ALL GARAGE RECEPTABLES WILL BE LOCATED 18" ABOVE FLOOR AND PROTECTED WITH GFCI.

PLUMBING

1- NEW FIXTURE SHALL MEET THE FOLLOWING WATER CONSERVATION PROVISIONS.
 *TOILETS WILL BE OF A MAX. OF 16 GALLONS PER FLUSH
 *URINALS WILL BE OF MAX. OF 1.5 GALLONS PER FLUSH
 *SHOWER HEADS WILL HAVE A MAX. FLOW RATE OF 2.75 GALLONS PER MINUTE

2- WATER CLOSET COMPARTMENTS WILL HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE WATER CLOSET.

3- A 12"X12" TUB ACCESS FOR SLAB AND SECOND FLOOR CONSTRUCTION WILL BE PROVIDED, OR CONCEALED SLIP JOINT CONNECTIONS WILL BE INSTALLED.

4- SHOWERS WALLS SHALL HAVE NON-ABSORBENT MATERIALS 70" MINIMUM ABOVE DRAIN INLET.

5-SHOWERS DOORS WILL BE TEMPERED GLASS AND SWING OUTWARD.

6- SHOWERS WILL HAVE 30" INSIDE WITH 1024 SQ INSH AREA

7- WATER HEATER WILL BE SEISMIC BRACED ON THE TOP AND BOTTOM 1/3 OF HEATER

8-WATER HEATER COMPARTMENTS WILL BE PROVIDED WITH A MINIMUM 2' WIDE DOOR AND COMBUSTION AIR WITH 100 SQ. INCHES MINIMUM TOP AND BOTTOM LOCATED WITHIN 12" OF BASE AND TOP OF ENCLOSURE.

MECHANICAL

1- HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 70 F AT A POINT 3' ABOVE THE FLOOR WILL BE PROVIDE IN ALL HABITABLE ROOMS.

2- COMBUSTION AIR OPENINGS WILL BE INSTALLED WITHIN 12" OF THE FLOOR AND CEILING FOR GAS BURNING EQUIPMENT. LOUVERED DOORS OR VENTS IN DOORS TYPICALLY DO NOT MEET THESE LOCATION REQUIREMENTS.

3- WARM AIR FURNACES WILL NOT BE INSTALLED IN A BEDROOM, BATHROOM, CLOSET OR ENCLOSED SPACE WITH ACCESS ONLY THROUGH SUCH ROOM. UMC 704.

4-APPLIANCES GENERATING A GLOW SPARK OR FLAME WILL BE SET AT LEAST 18" ABOVE GARAGE FLOOR LEVEL, UMC 508

5-UNLESS STATED OTHERWISE IN MANUFACTURE'S INSTALLATION INSTRUCTIONS AND APPROVED BY THE BUILDING OFFICIAL, DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED 14' IN LENGTH (HORIZONTAL AND VERTICAL) WITH TWO 90 DEGREE ELBOWS. (TWO FEET SHALL BE DEDUCTED FOR EACH 90 IN EXCESS OF TWO.)

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PRELIMINARY DESIGN	21-0511		

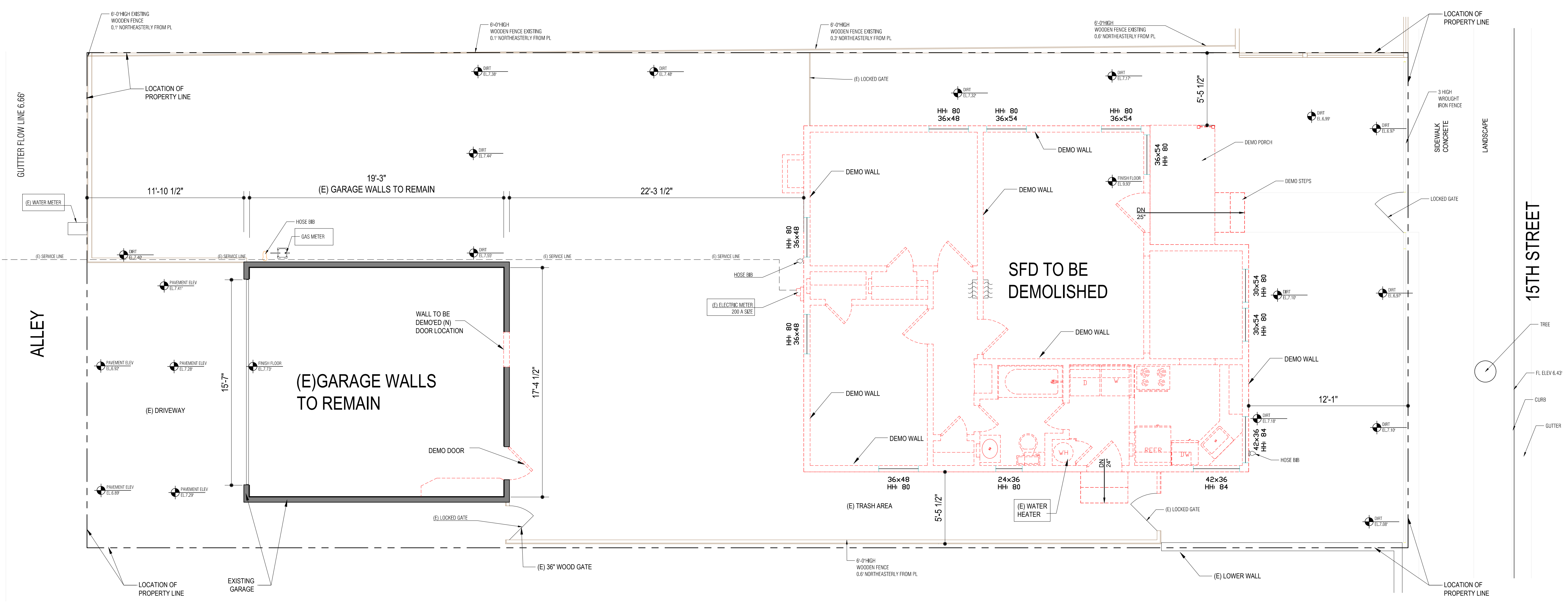
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 general notes cont.

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REVISION	DATE

ISSUED FOR:	DATE
SCHEMATIC CONCEPT	2-10-20
PRELIMINARY DESIGN	2-1-2011

DESCRIPTION:
 demo plan



01 DEMO PLAN
 AS-BUILT

project north
 scale: 1/4" = 1'-0"

legend

- 8 WALL TO BE DEMOLISHED
- 9 EXISTING WALL TO REMAIN

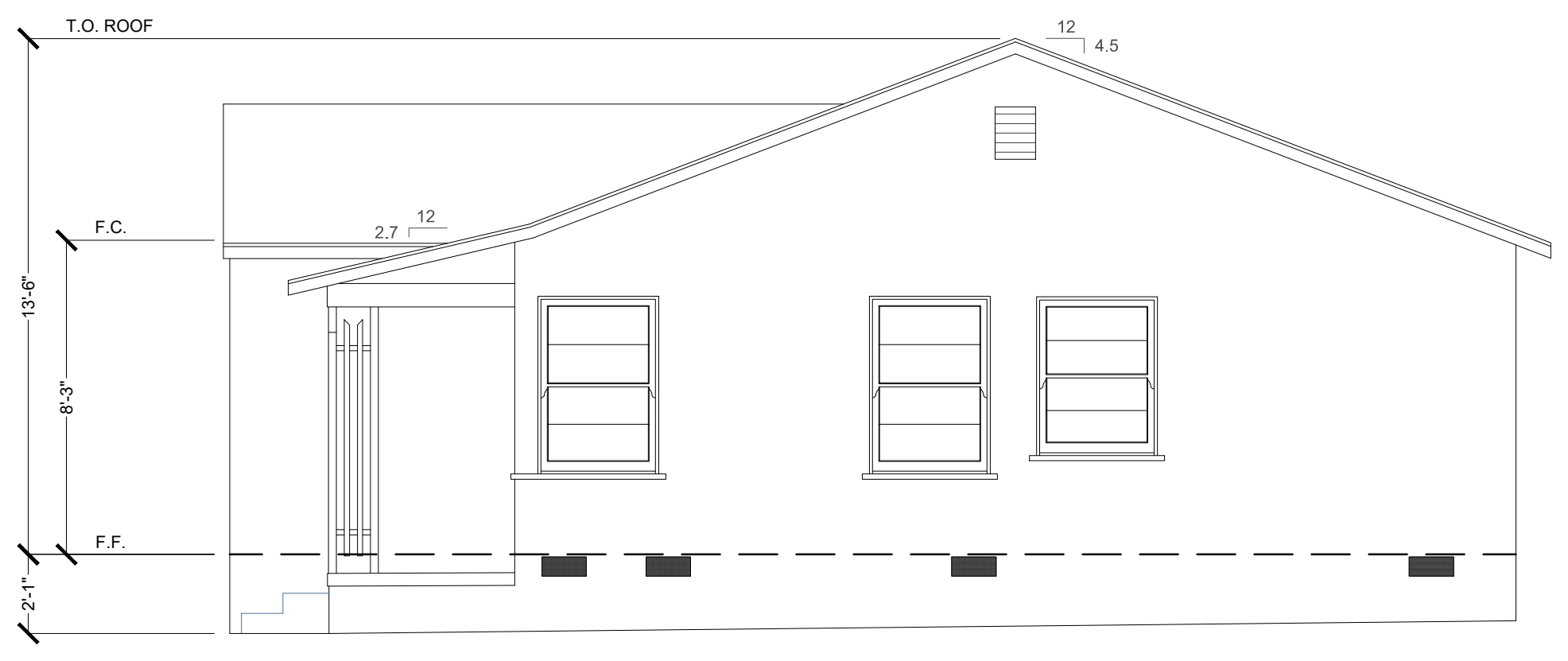
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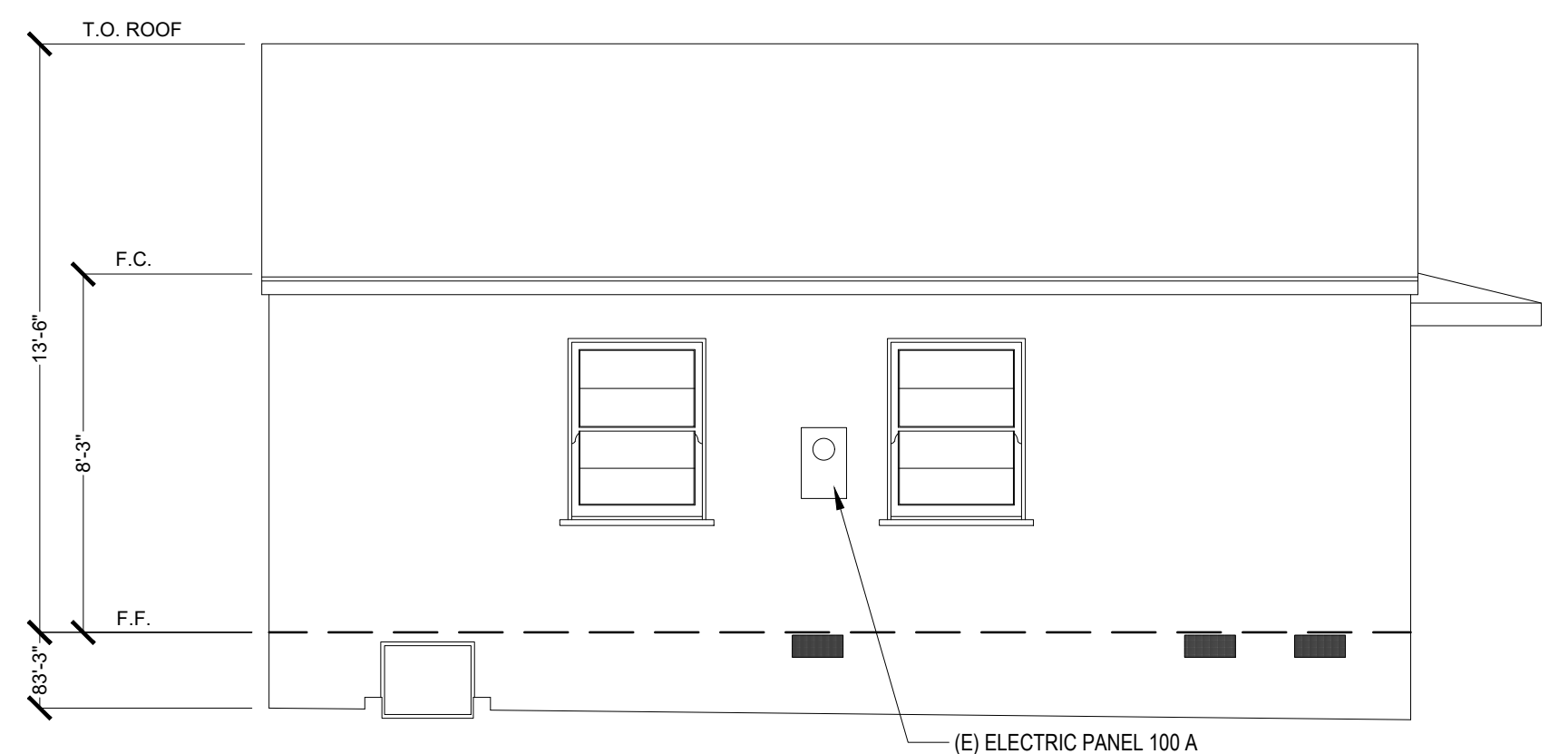
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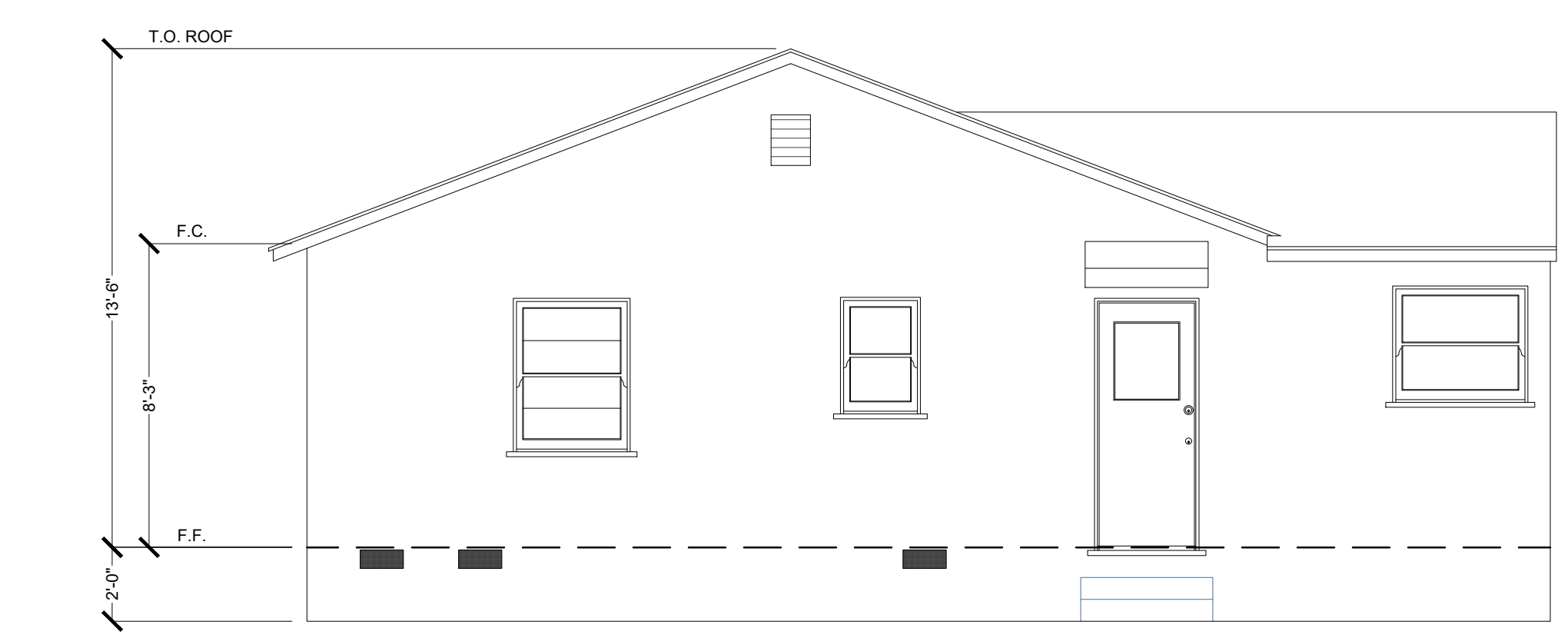
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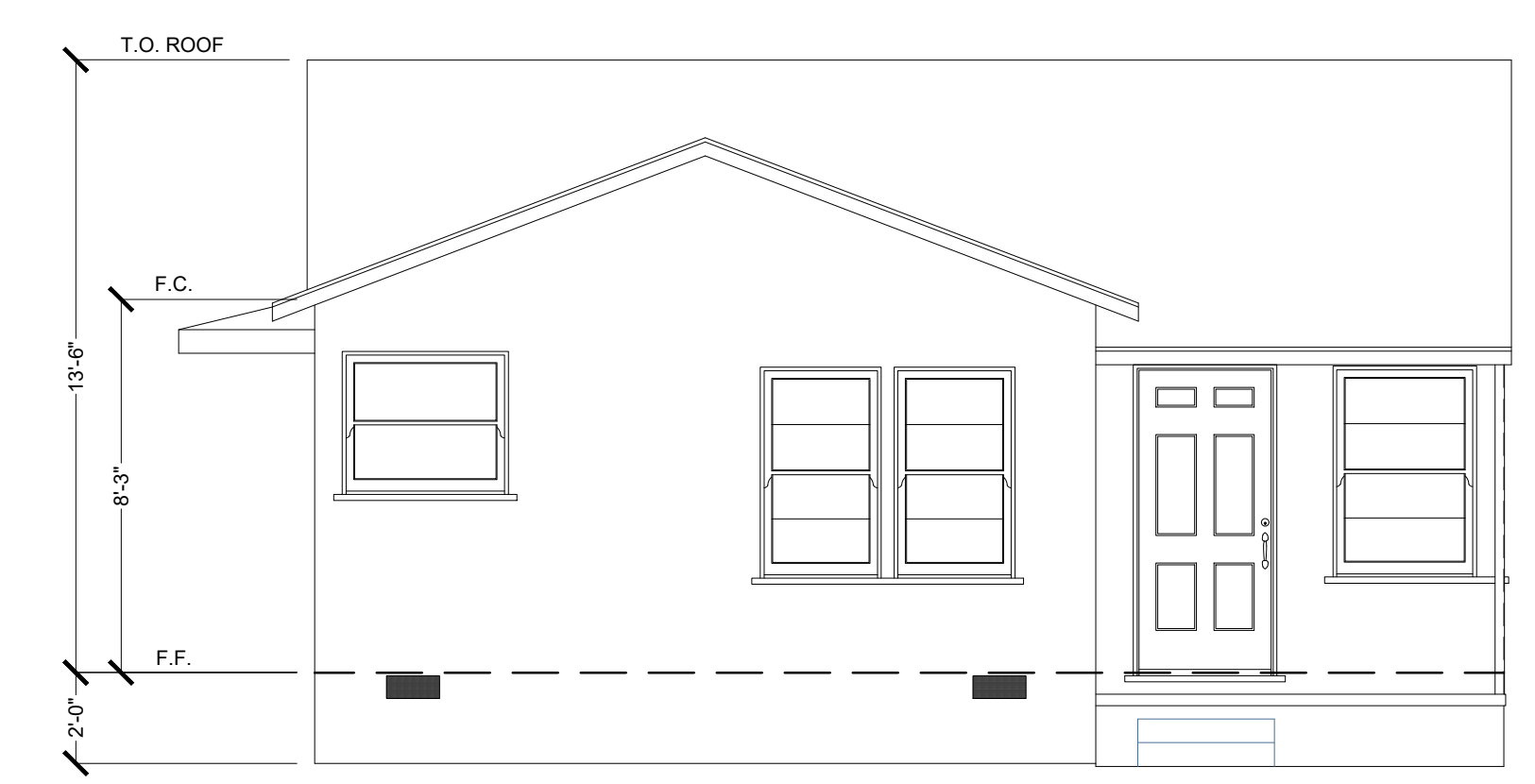
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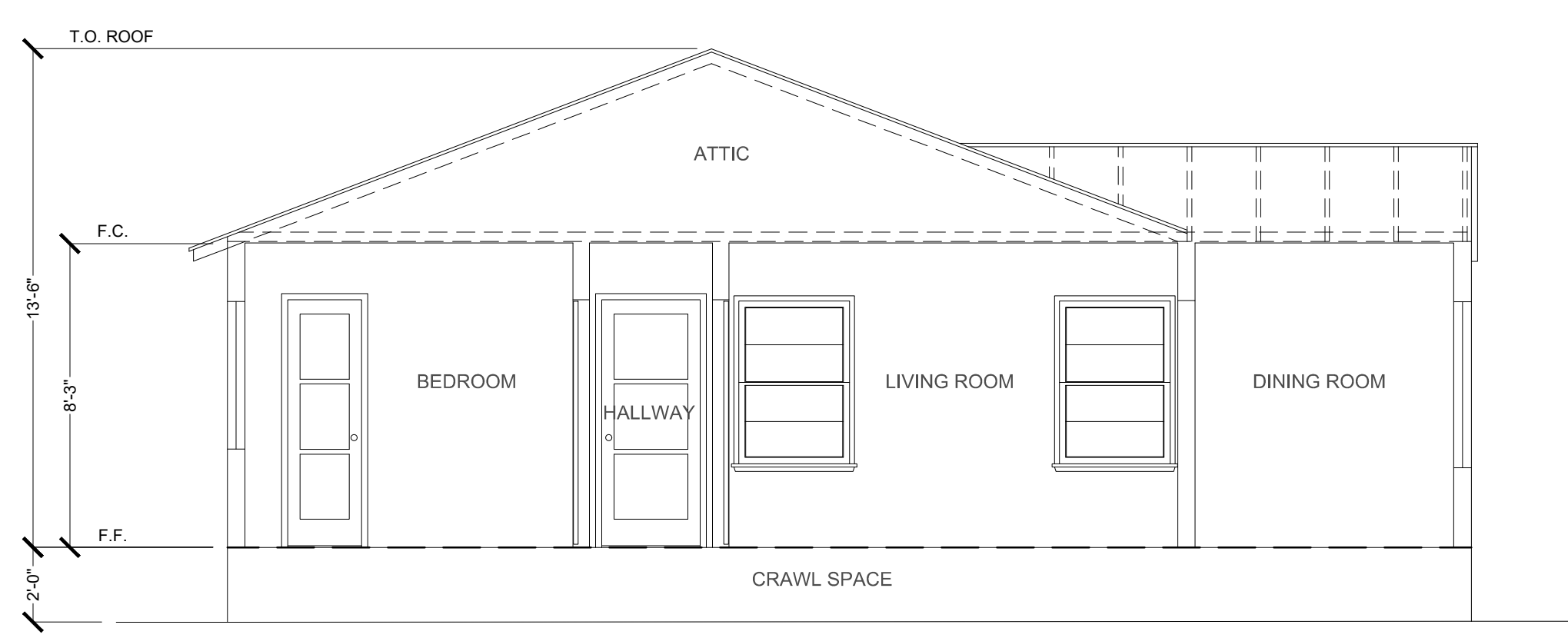
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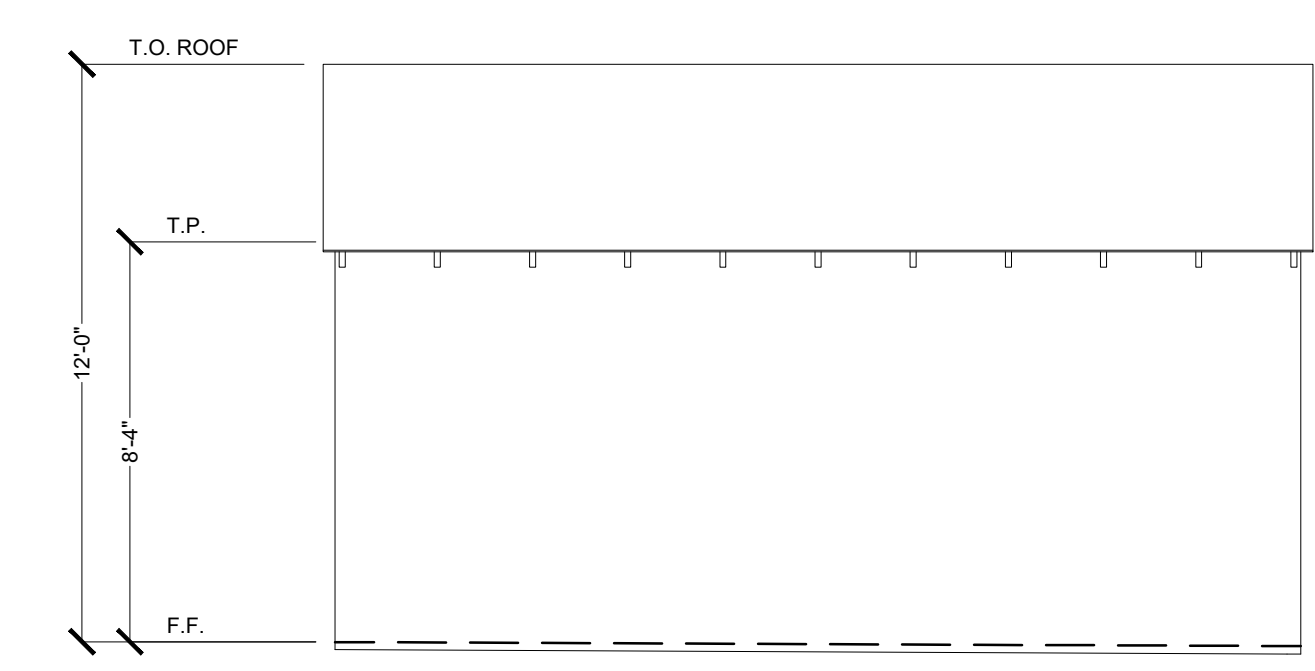
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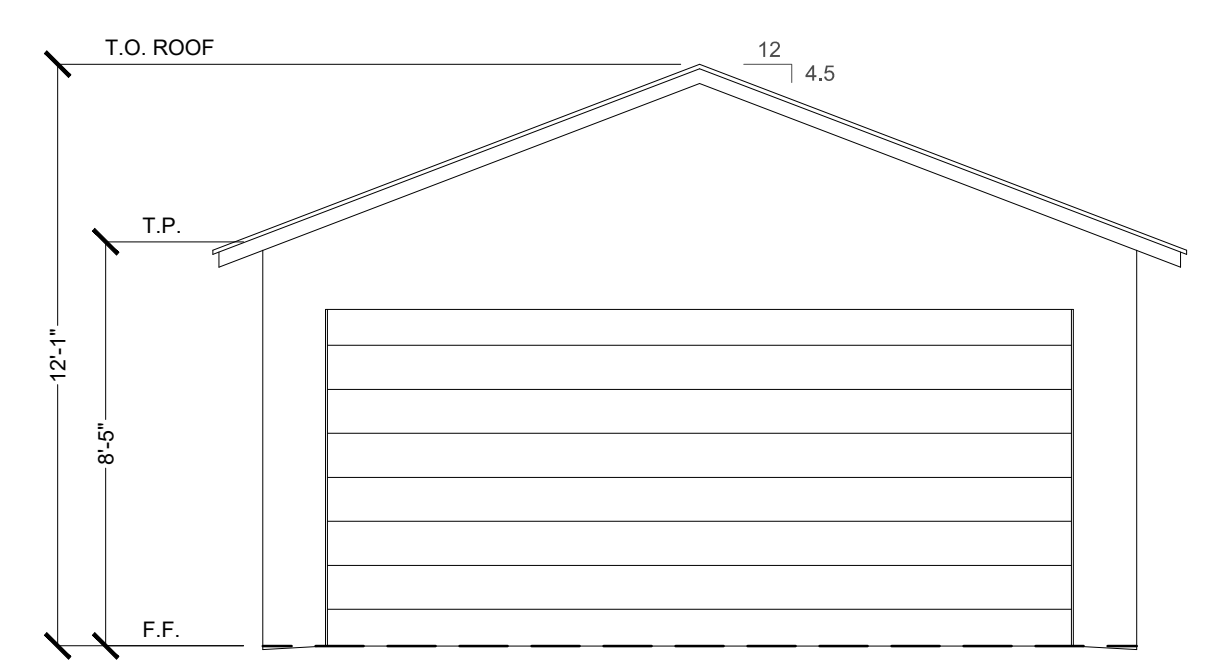
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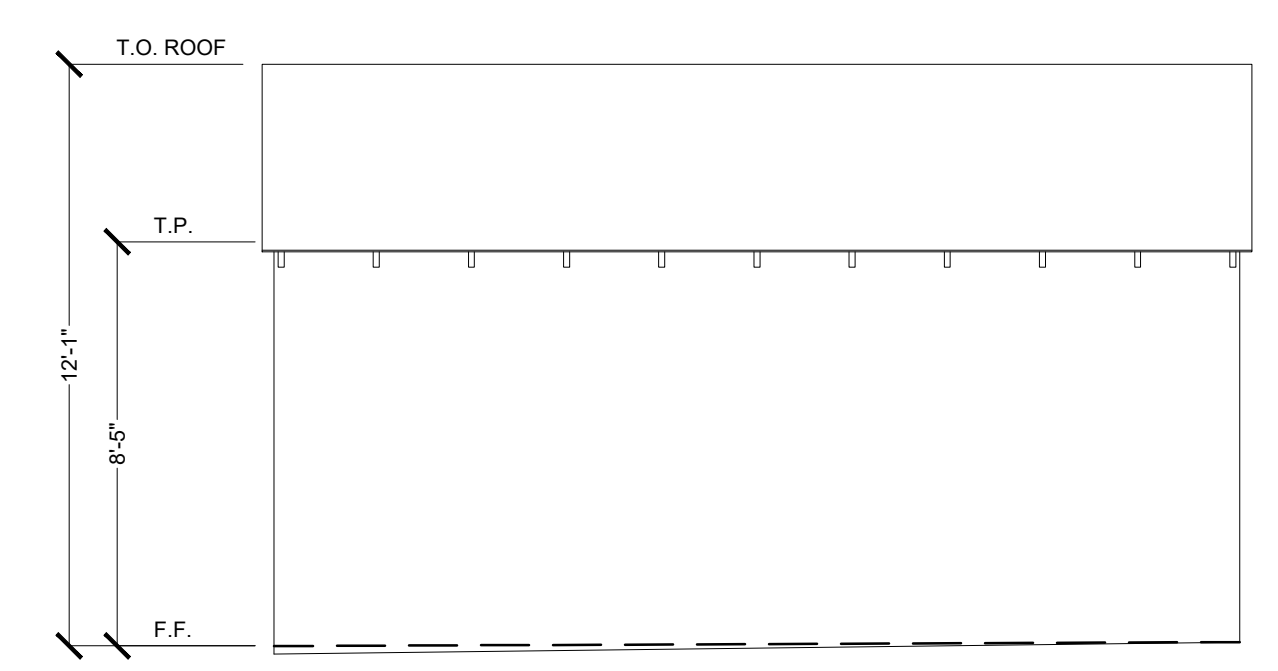
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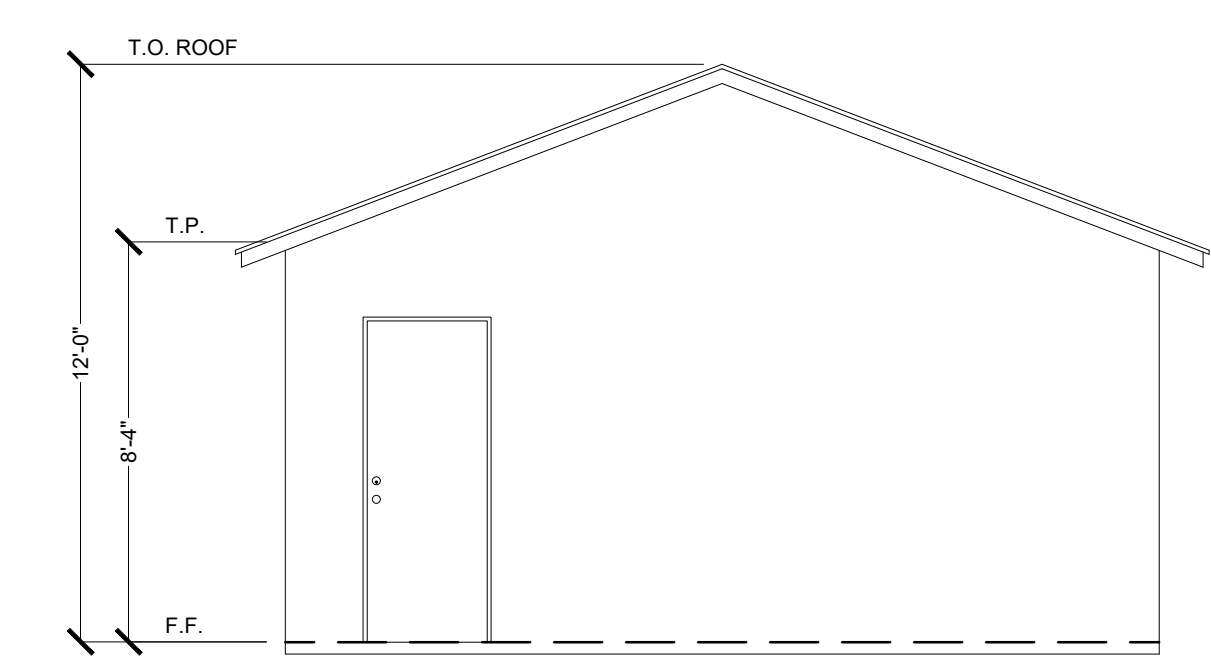
(E) (E) NORTH-EAST ELEVATION



(F) (E) NORTH-WEST ELEVATION



(G) (E) SOUTH-WEST ELEVATION



(H) (E) SOUTH-EAST ELEVATION

01 EXISTING ELEVATIONS
 AS-BUILT

scale: 1/4" = 1'-0"

general notes

1. A) EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL.
 B) SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000).

2. A) AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS, R315
 B) WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.

3. A) PROVIDE A MECHANICAL VENTILATION SYSTEM IN POWDER ROOMS, BATHROOMS CONTAINING A BATHTUB AND/OR SHOWER AND LAUNDRY ROOMS. MECHANICAL SYSTEM MUST BE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR AND EXHAUSTING DIRECTLY TO THE OUTSIDE.
 B) FANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS OR TUB/SHOWER COMBINATIONS. BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
 I. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF BUILDING II. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY HUMIDITY CONTROL.

4. A) PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. SEE SHEET, A05, DETAIL #5 FOR ALLOWABLE MAX. FLOW RATES.
 B) PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE FOR SHOWERS AND TUB SHOWERS.
 C) THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES IN TABLE 4.303.2' (4.303.1) SEE FORM GRN 16 (DETAIL 4) ON SHEET -
 D) PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM.
 E) KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY.
 F) WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD AND/OR OTHER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.

5. A) PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED HATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE
 B) BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NO LESS THAN 6 FEET ABOVE THE FLOOR.

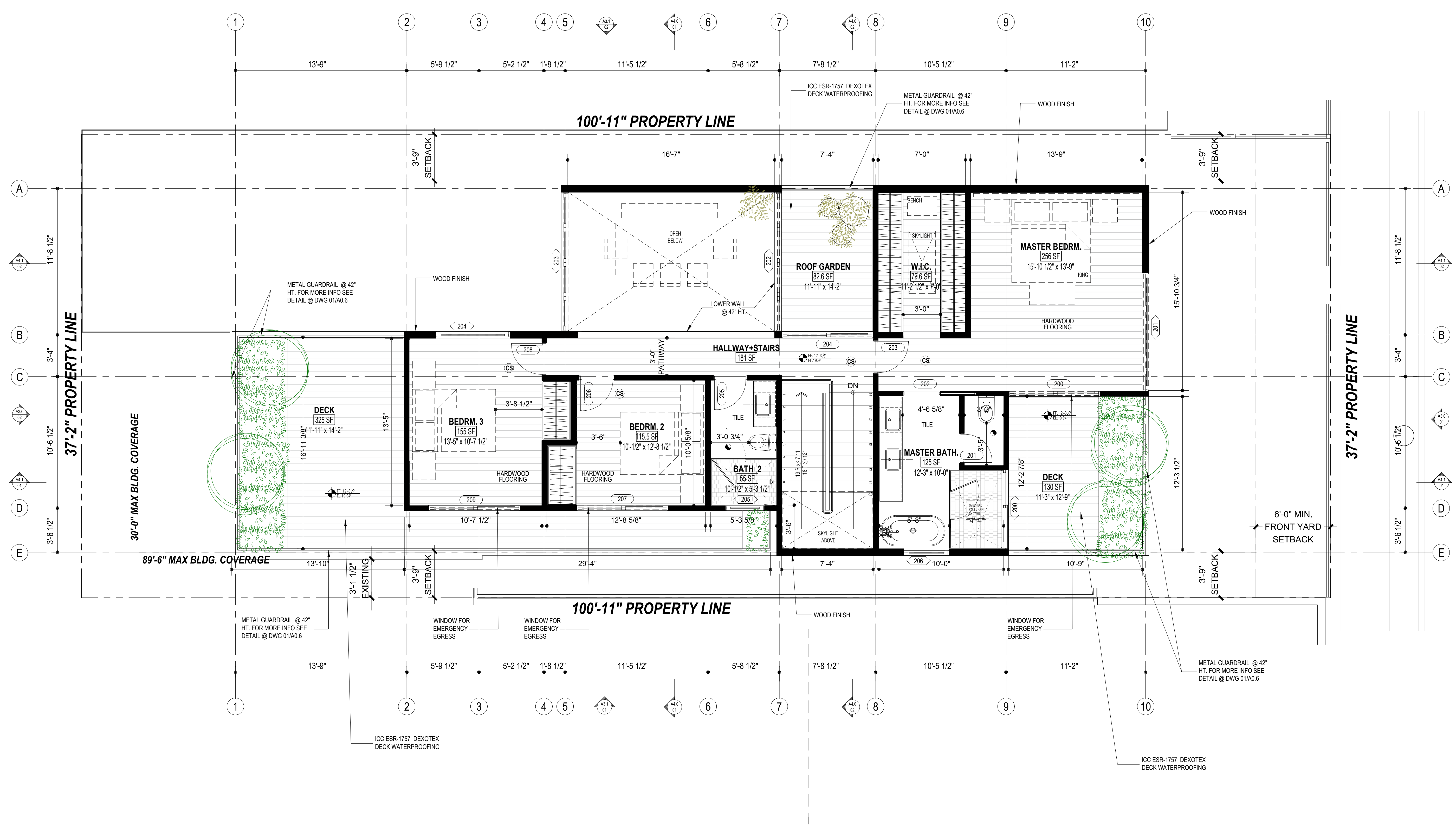
6. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)
 7. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL
 8. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHES WASHER, BATHTUB, SHOWERS, AND BATHROOMS, WASH BASINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE

REVISION	DATE

ISSUED FOR:	DATE:
SCHEMATIC CONCEPT	21-04-20
PRELIMINARY DESIGN	21-05-11

DESCRIPTION:
second floor plan

A2.1



01 SECOND FLOOR PLAN
 PROPOSED DESIGN

- general notes**
- FIRE SPRINKLERS REQUIRED: "YES"
 - FLOOD ZONE: "X"
 - PROVIDE AUTOMATIC EARTHQUAKE SHUTOFF VALVE.
 - THIS PROJECT SHALL COMPLY WITH THE 2016 EDITIONS OF THE CALIFORNIA BUILDING CODE, CA ELECTRICAL CODE, CA MECHANICAL CODE, CA PLUMBING CODE, CA ENERGY CODE, CA FIRE CODE, AND THE REDONDO BEACH MUNICIPAL CODE
 - RESIDENTIAL BUILDINGS ARE REQUIRED TO REPLACE NONCOMPLIANT WATER FIXTURES THROUGHOUT THE STRUCTURE. (CGBC 301.1.1)

- legend**
- DIMENSIONS LOCATING INTERIOR AND EXTERIOR WALLS TO BE TYPICALLY AT FINISH FACE AS SHOWN IN THE WALL TYPES, UNLESS OTHERWISE NOTED.
 - REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 - FURNITURE N.I.C. SHOWN DOTTED
 - WINDOW NO., REFER TO SCHEDULE, SHEET A0.7
 - DOOR NO., REFER TO SCHEDULE, SHEET A0.7
 - ROOM NAME AND NUMBER
 - INTERIOR ELEVATION REFERENCE
 - NEW WALL, WOOD STUD WALL W/ 5/8" TYPE-X" GYP. EA. SIDE.
 - EXISTING WALL TO REMAIN
 - EXHAUST FAN
 - COMBINATION SMOKE AND CARBON MONOXIDE (INTERCONNECTED)
 - EMERGENCY EGRESS
 - TEMPERED GLAZING REQ'D PER R308.3
 - 72" TUB DECK
 - 24"W DISHWASHER
 - PARTITION WALL
 - OUTDOOR SEATING BY OWNER
 - TANKLESS WATER HEATER
 - ELECTRICAL PANEL
 - 36" REFRIGERATOR
 - VELUX FLAT SKYLIGHT -DETAILS 1 & 2; SHEET A5.0
 - SHOWER CADDY NICHE, 2X6 EXTERIOR WALL/ 2X4 INT. WALL

- key notes**
- FULL HEIGHT CABINET WITH ALL ADJUSTABLE SHELVES
 - 36" COUNTERTOP AFF
 - 48"W RANGE
 - UNDERCOUNTER WINE COOLER
 - FARMHOUSE SINK
 - TILE BACKSPLASH
 - CONCRETE BENCH
 - IRRIGATION CONTROL UNIT
 - SHELF, NICHE

project north
 scale: 1/4" = 1'-0"

general notes

1. A) EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL.
 B) SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000).

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 B) WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.

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 B) FANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS OR TUB/SHOWER COMBINATIONS. BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
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 B) PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE FOR SHOWERS AND TUB SHOWERS.
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 F) WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD AND/OR OTHER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.

5. A) PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED HATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE
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6. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)
 7. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE "LANDSCAPE CERTIFICATION, FORM GRN12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL

8. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHES WASHER, BATHTUB, SHOWERS, AND BATHROOMS, WASH BASINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE

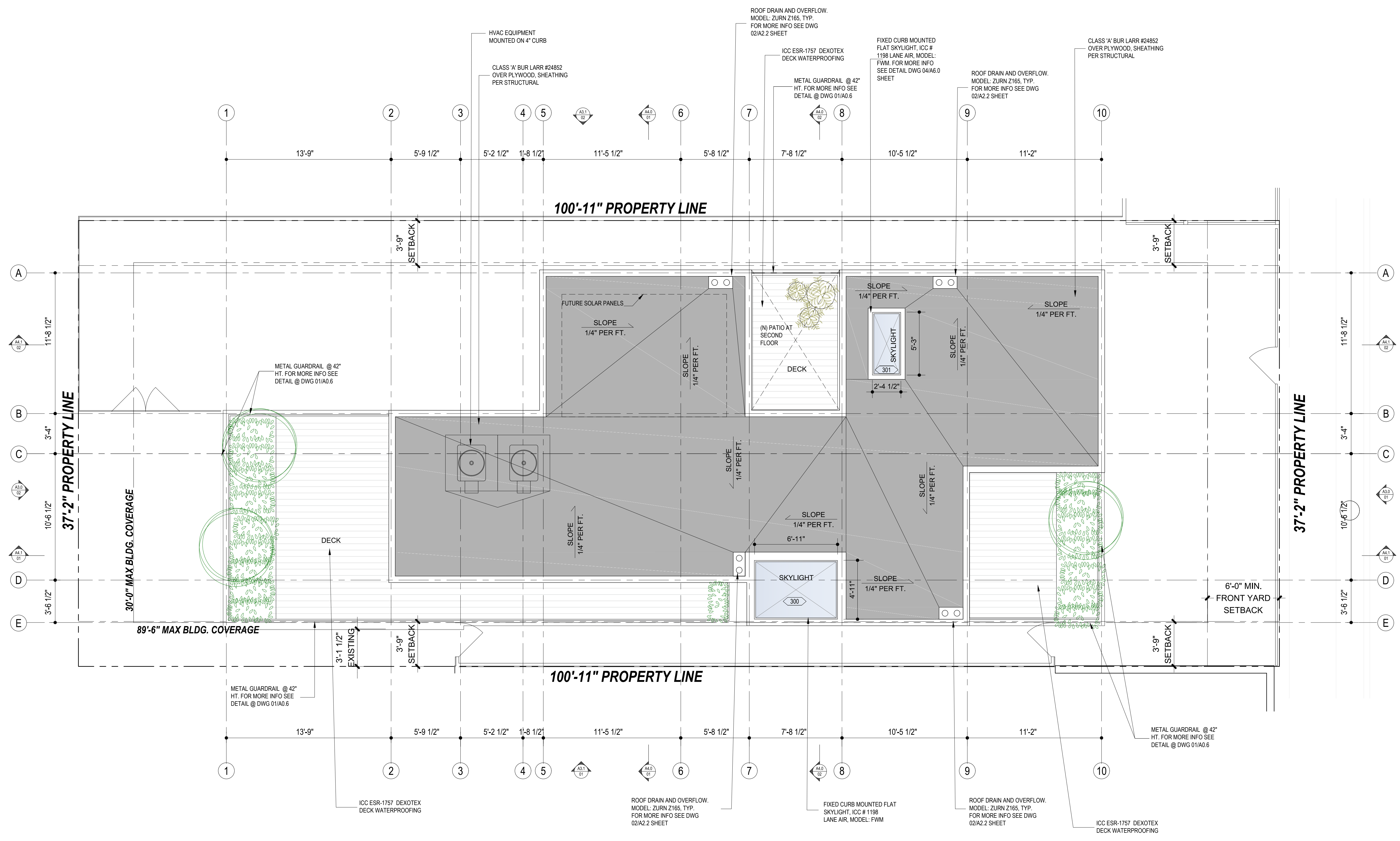


REVISION	DATE

ISSUED FOR:	DATE:
SCHEMATIC CONCEPT	2-10-20
PRELIMINARY DESIGN	2-1-2011

DESCRIPTION:
roof plan

A2.2



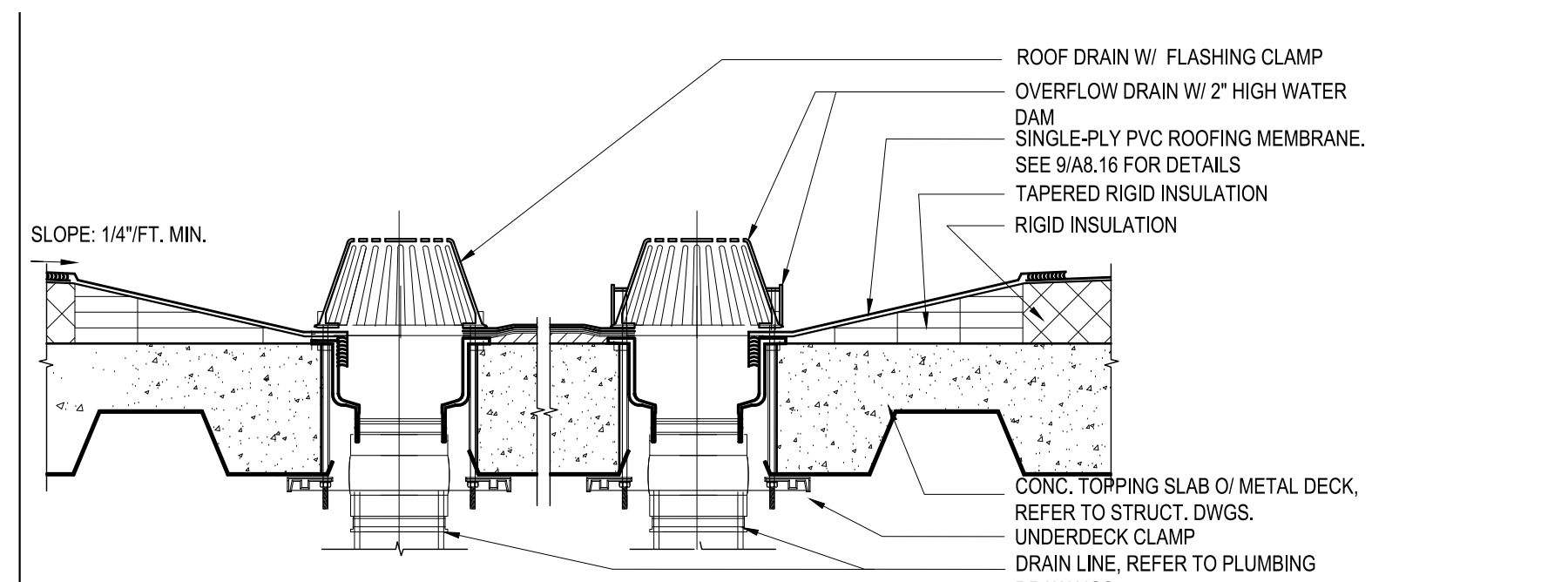
01 ROOF PLAN
 PROPOSED DESIGN

general notes

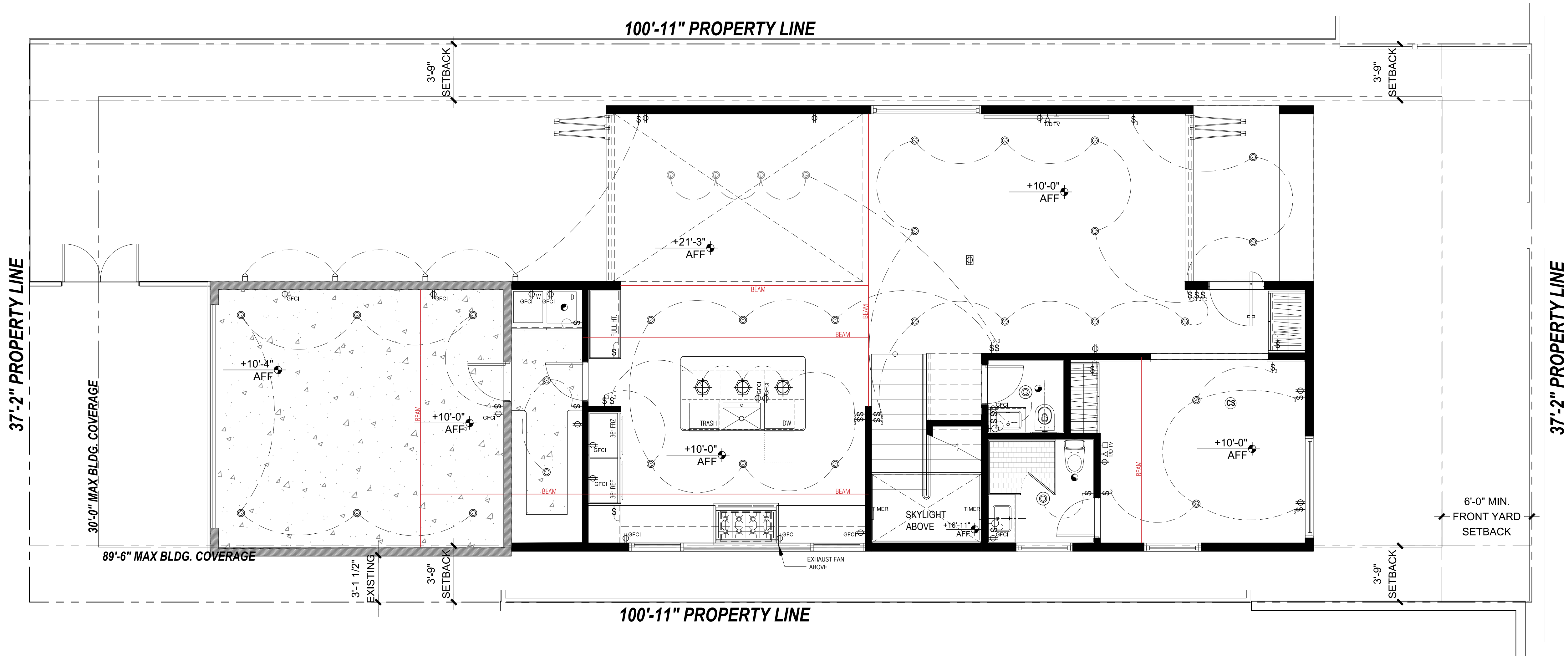
- FIRE SPRINKLERS REQUIRED: "YES"
- FLOOD ZONE: "X"
- PROVIDE AUTOMATIC EARTHQUAKE SHUTOFF VALVE.
- THIS PROJECT SHALL COMPLY WITH THE 2016 EDITIONS OF THE CALIFORNIA BUILDING CODE, CA ELECTRICAL CODE, CA MECHANICAL CODE, CA PLUMBING CODE, CA ENERGY CODE, CA FIRE CODE, AND THE REDONDO BEACH MUNICIPAL CODE
- RESIDENTIAL BUILDINGS ARE REQUIRED TO REPLACE NONCOMPLIANT WATER FIXTURES THROUGHOUT THE STRUCTURE. (CGBC 301.1.1)

key notes

- | | | |
|--|-----------------------------|----------------------------------|
| 01 FULL HEIGHT CABINET WITH ALL ADJUSTABLE SHELVES | 10 72" TUB DECK | 17 VELUX FLAT SKYLIGHT |
| 02 36" COUNTERTOP AFF | 11 24"W DISHWASHER | -DETAILS 1 & 2; SHEET A5.0 |
| 03 48"W RANGE | 12 PARTITION WALL | 18 SHOWER CADDY NICHE, |
| 04 UNDERCOUNTER WINE COOLER | 13 OUTDOOR SEATING BY OWNER | 2X6 EXTERIOR WALL/ 2X4 INT. WALL |
| 05 FARMHOUSE SINK | 14 TANKLESS WATER HEATER | |
| 06 TILE BACKSPLASH | 15 ELECTRICAL PANEL | |
| 07 CONCRETE BENCH | 16 36" REFRIGERATOR | |
| 08 IRRIGATION CONTROL UNIT | | |
| 09 SHELF, NICHE | | |



02 ROOF DRAIN AND OVERFLOW DETAIL
 SCALE: 1-1/2"=1'-0"



ISSUED FOR:	DATE:	REVISION:	DATE:
SCHEMATIC CONCEPT	21-0420		
PRELIMINARY DESIGN	21-0511		

WE OCCUPY AND USE THE OFFICE, WORKSPACE, OFFICIAL SEAL AND OTHER ARCHITECTURAL AND DESIGN SERVICES PROVIDED BY TORRENCE ARCHITECTS, INC. WE AGREE TO HOLD TORRENCE ARCHITECTS, INC. HARMLESS FROM ALL LIABILITY, INCLUDING BUT NOT LIMITED TO, THE COST OF DEFENSE AND ATTORNEY'S FEES, IN CONNECTION WITH ANY AND ALL LITIGATION, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF LITIGATION, THAT MAY BE ASSERTED AGAINST OR INCURRED BY TORRENCE ARCHITECTS, INC. IN CONNECTION WITH THE PERFORMANCE OF ITS PROFESSIONAL SERVICES FOR US.

01 GROUND FLOOR // RCP PLAN
 PROPOSED DESIGN

project north
 scale: 1/4" = 1'-0"

- general notes**
1. FIRE SPRINKLERS REQUIRED: "YES"
 2. FLOOD ZONE: "X"
 3. PROVIDE AUTOMATIC EARTHQUAKE SHUTOFF VALVE.
 4. THIS PROJECT SHALL COMPLY WITH THE 2016 EDITIONS OF THE CALIFORNIA BUILDING CODE, CA ELECTRICAL CODE, CA MECHANICAL CODE, CA PLUMBING CODE, CA ENERGY CODE, CA FIRE CODE, AND THE REDONDO BEACH MUNICIPAL CODE
 5. RESIDENTIAL BUILDINGS ARE REQUIRED TO REPLACE NONCOMPLIANT WATER FIXTURES THROUGHOUT THE STRUCTURE. (CIBC 301.1.1)

legend

- EXHAUST FAN
- WIRED COMBINATION SMOKE AND CARBON MONOXIDE ALARM
- SWITCH
- DIMMABLE
- OUTLET
- QUAD OUTLET
- EXT. WALL MOUNTED OUTLET
- FLOOR OUTLET
- GFCI GROUND-FAULT CIRCUIT OUTLET
- UNDER CABINET LED
- VANITY LIGHT
- STAIR LIGHT FIXTURE
- FAN/ LIGHT COMBO, MIN. 75 CFM
- CEILING MTD. CHANDELIER, OWNER PROVIDED
- 4" RECESSED DOWNLIGHT, LED
- EXTERIOR WALL SCNCES

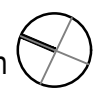
key notes

- 01 FULL HEIGHT CABINET WITH ALL ADJUSTABLE SHELVES
- 02 36" COUNTERTOP AFF
- 03 48"W RANGE
- 04 UNDERCOUNTER WINE COOLER
- 05 FARMHOUSE SINK
- 06 TILE BACKSPASH
- 07 CONCRETE BENCH
- 08 IRRIGATION CONTROL UNIT
- 09 SHELF, NICHE
- 10 72" TUB DECK
- 11 24"W DISHWASHER
- 12 PARTITION WALL
- 13 OUTDOOR SEATING BY OWNER
- 14 TANKLESS WATER HEATER
- 15 ELECTRICAL PANEL
- 16 36" REFRIGERATOR
- 17 VELUX FLAT SKYLIGHT -DETAILS 1 & 2; SHEET A5.0
- 18 SHOWER CADDY NICHE, 2X6 EXTERIOR WALL/ 2X4 INT. WALL

DESCRIPTION:
 rcp plans

















A2.3

01 SECOND FLOOR // RCP PLAN
 PROPOSED DESIGN

project north 
 scale: 1/4" = 1'-0"

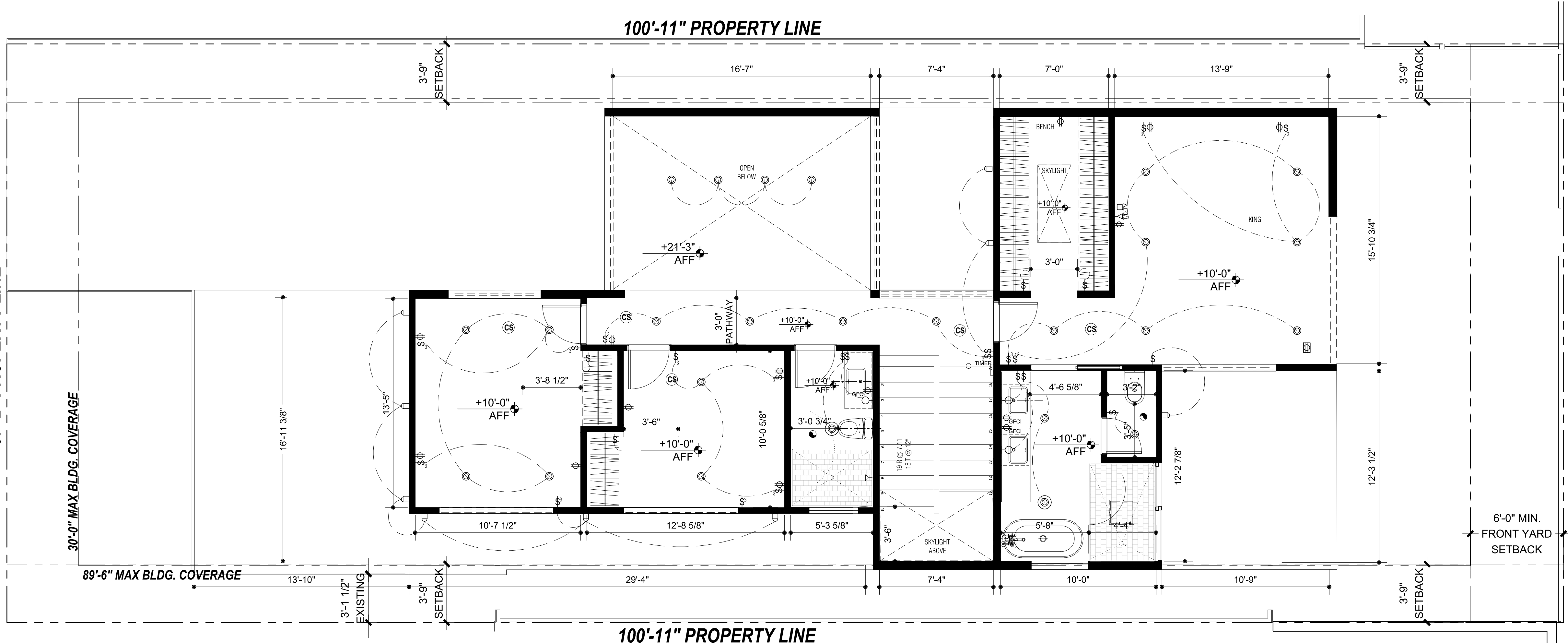
- general notes**
1. FIRE SPRINKLERS REQUIRED: "YES"
 2. FLOOD ZONE: "X"
 3. PROVIDE AUTOMATIC EARTHQUAKE SHUTOFF VALVE.
 4. THIS PROJECT SHALL COMPLY WITH THE 2016 EDITIONS OF THE CALIFORNIA BUILDING CODE, CA ELECTRICAL CODE, CA MECHANICAL CODE, CA PLUMBING CODE, CA ENERGY CODE, CA FIRE CODE, AND THE REDONDO BEACH MUNICIPAL CODE
 5. RESIDENTIAL BUILDINGS ARE REQUIRED TO REPLACE NONCOMPLIANT WATER FIXTURES THROUGHOUT THE STRUCTURE. (CGBC 301.1.1)

legend

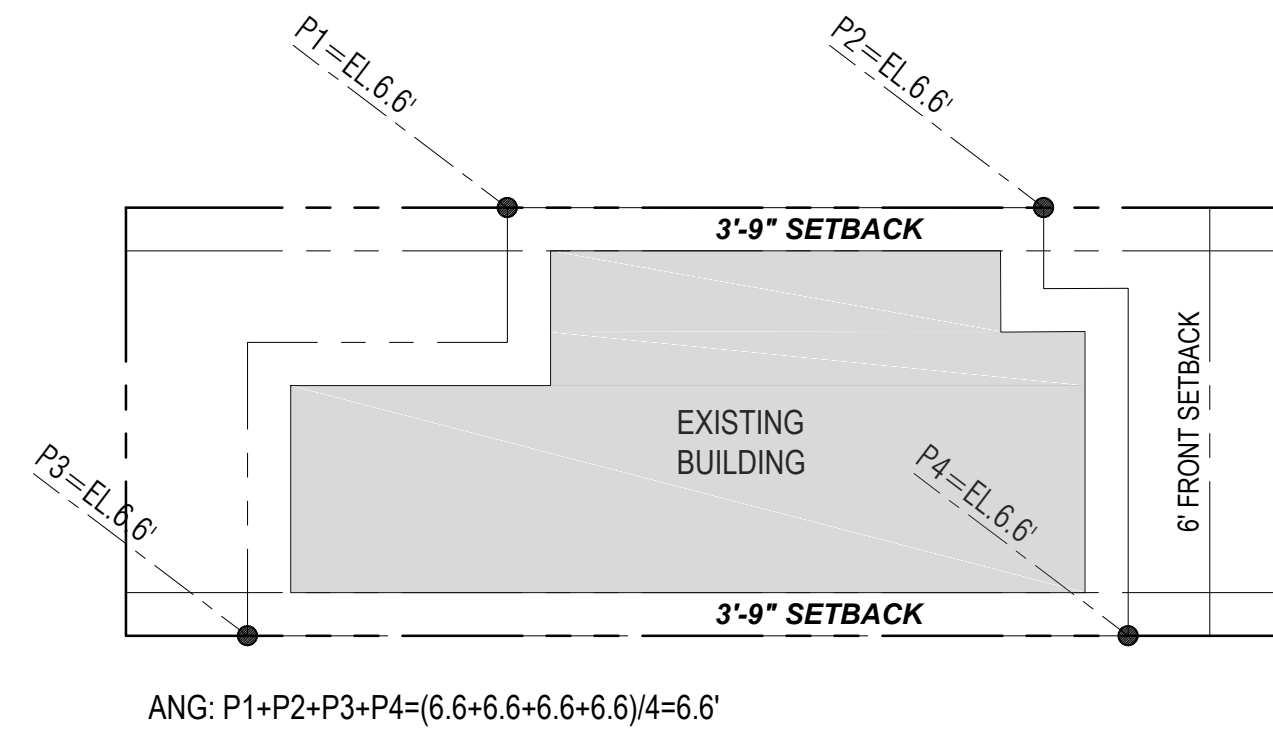
-  EXHAUST FAN
-  WIRED COMBINATION SMOKE AND CARBON MONOXIDE ALARM
-  SWITCH
-  DIMMABLE
-  OUTLET
-  QUAD OUTLET
-  EXT. WALL MOUNTED OUTLET
-  FLOOR OUTLET
-  GFCI GROUND-FAULT CIRCUIT OUTLET
-  UNDER CABINET LED
-  VANITY LIGHT
-  STAIR LIGHT FIXTURE
-  FAN/ LIGHT COMBO, MIN. 75 CFM
-  CEILING MTD. CHANDELIER, OWNER PROVIDED
-  4" RECESSED DOWNLIGHT, LED
-  EXTERIOR WALL SCNCES

key notes

- 01 FULL HEIGHT CABINET WITH ALL ADJUSTABLE SHELVES
- 02 36" COUNTERTOP AFF
- 03 48"W RANGE
- 04 UNDERCOUNTER WINE COOLER
- 05 FARMHOUSE SINK
- 06 TILE BACKSPASH
- 07 CONCRETE BENCH
- 08 IRRIGATION CONTROL UNIT SHELF, NICHE
- 10 72" TUB DECK
- 11 24"W DISHWASHER
- 12 PARTITION WALL
- 13 OUTDOOR SEATING BY OWNER
- 14 TANKLESS WATER HEATER
- 15 ELECTRICAL PANEL
- 16 36" REFRIGERATOR
- 17 VELUX FLAT SKYLIGHT -DETAILS 1 & 2; SHEET A5.0
- 18 SHOWER CADDY NICHE, 2X6 EXTERIOR WALL/ 2X4 INT. WALL

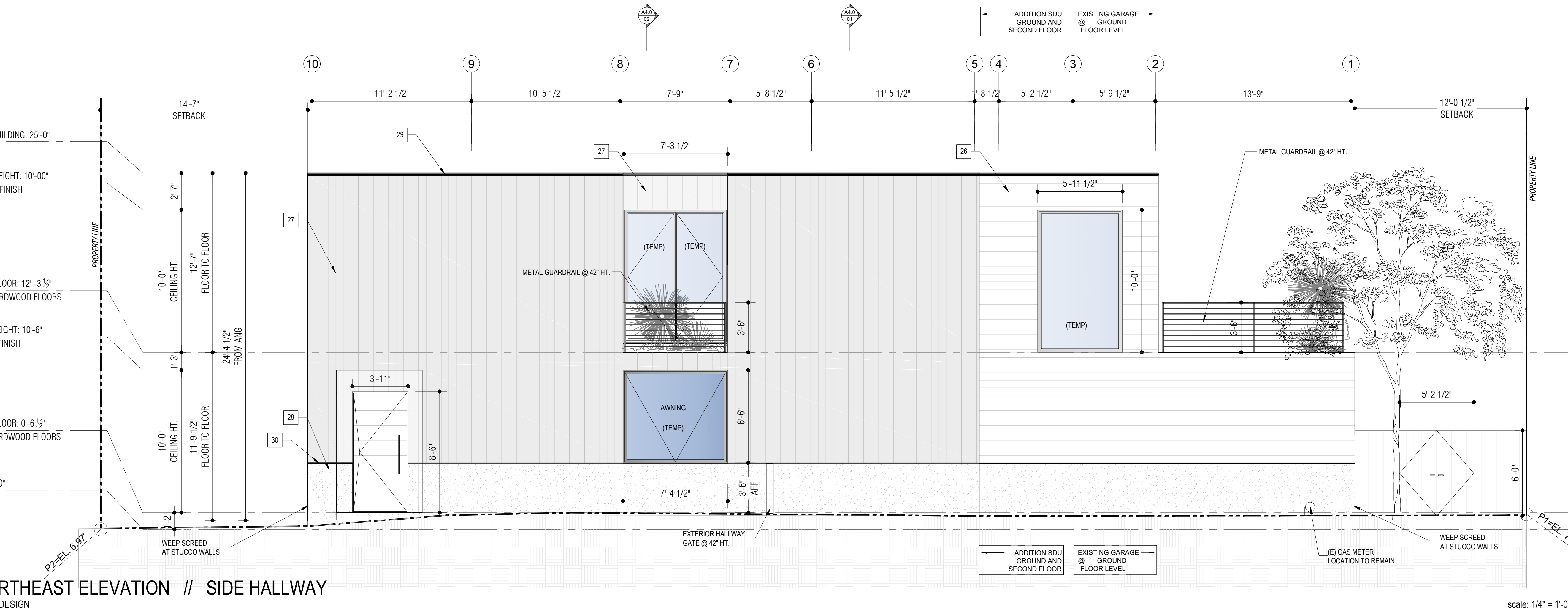
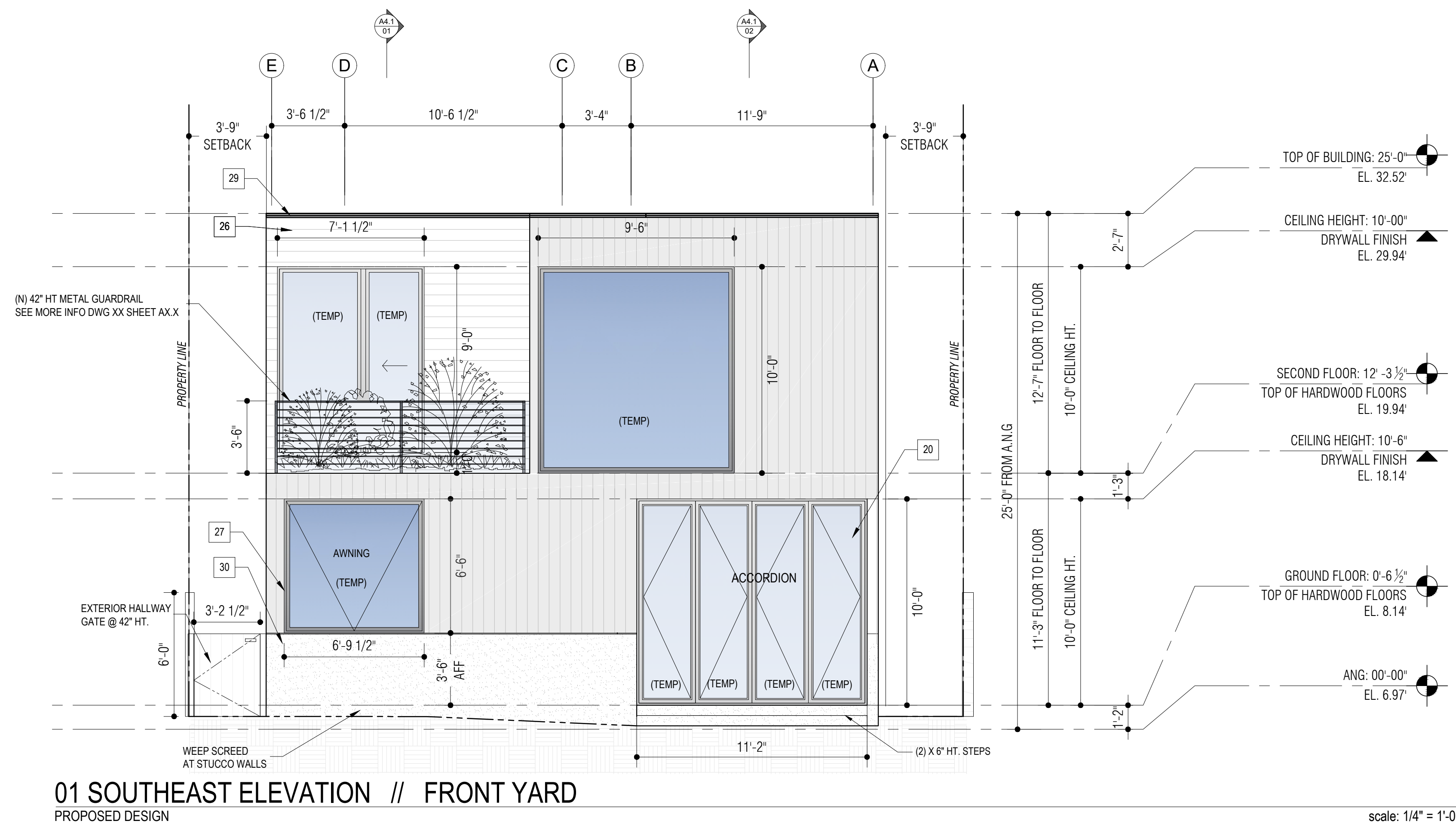


average natural grade calc.



key notes

- 01 FULL HEIGHT CABINET WITH ALL ADJUSTABLE SHELVES
- 02 36" COUNTERTOP AFF
- 03 48"W RANGE
- 04 UNDERCOUNTER WINE COOLER
- 05 FARMHOUSE SINK
- 06 TILE BACKSPLASH
- 07 CONCRETE BENCH
- 08 IRRIGATION CONTROL UNIT
- 09 SHELF, NICHE
- 10 72" TUB DECK
- 11 24"W DISHWASHER
- 12 PARTITION WALL
- 13 OUTDOOR SEATING BY OWNER
- 14 TANKLESS WATER HEATER
- 15 ELECTRICAL PANEL
- 16 38" REFRIGERATOR
- 17 VENTILATION GRILL
- 18 DURAVIT CORNER SINK - 17"x17"
- 19 EXISTING 7" CONCRETE STEP
- 20 FOLDING DOORS
- 21 METAL GUTTERS
- 22 NATURAL STONE WALLS
- 23 EXISTING CHIMNEY
- 24 CONCRETE FINISH
- 25 WOOD FINISH (VERTICAL 12" SLATS)
- 26 HORIZONTAL WHITE WOOD BOARDS
- 27 VERTICAL GRAY WOOD BOARDS
- 28 SMOOTH STUCCO FINISH
- 29 SILVER METAL FLASHING
- 30 5/8" SILVER REVEAL



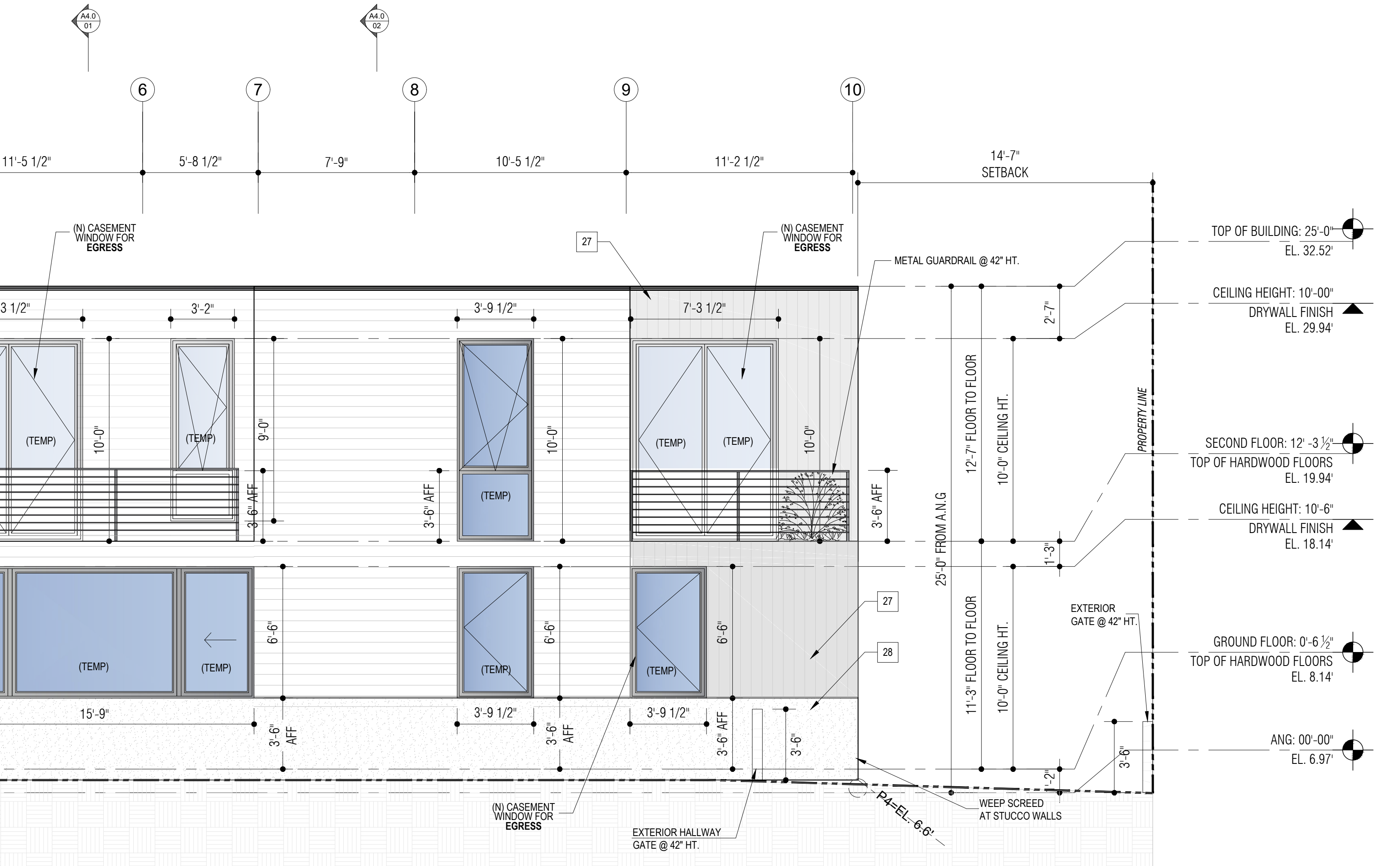
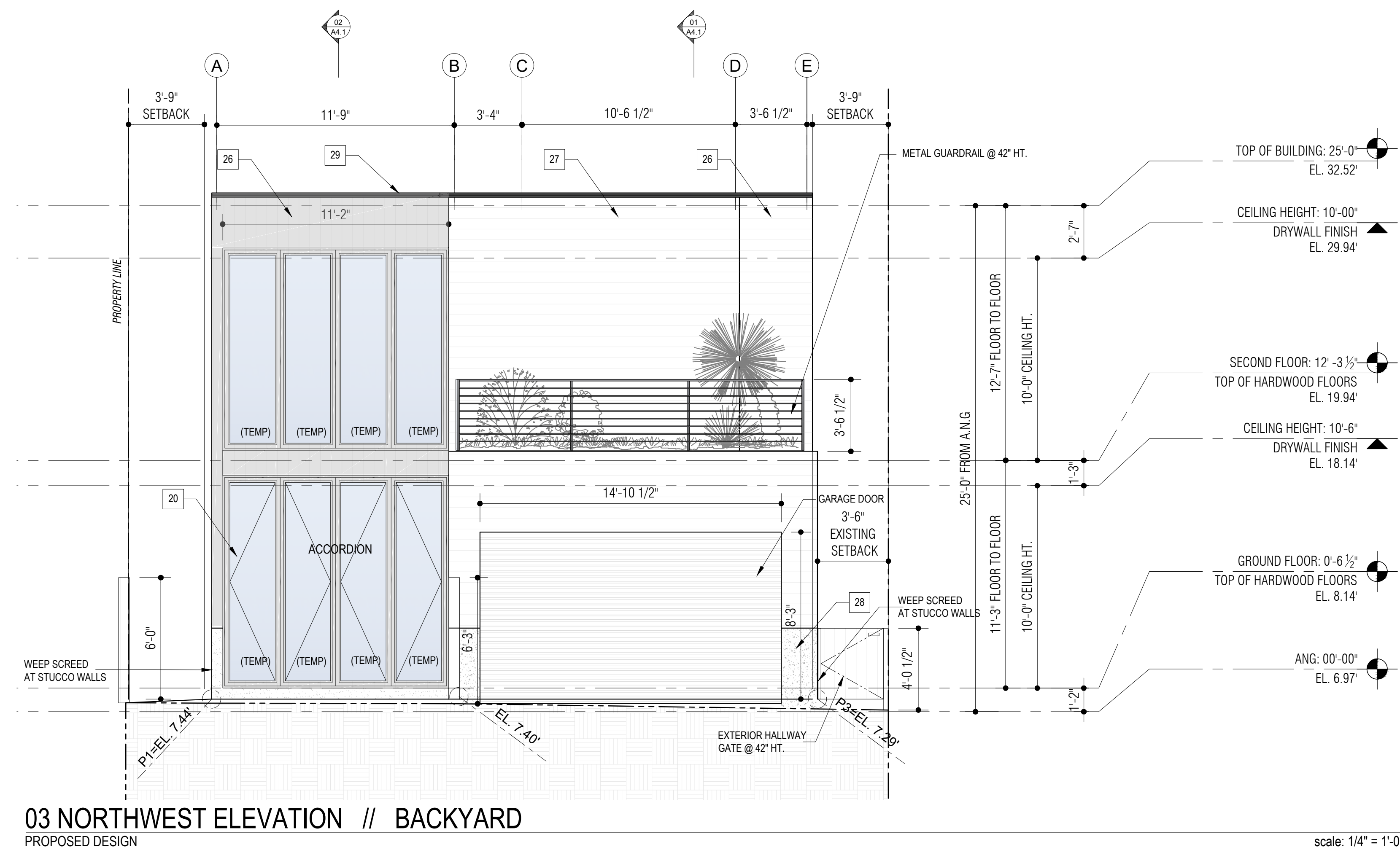
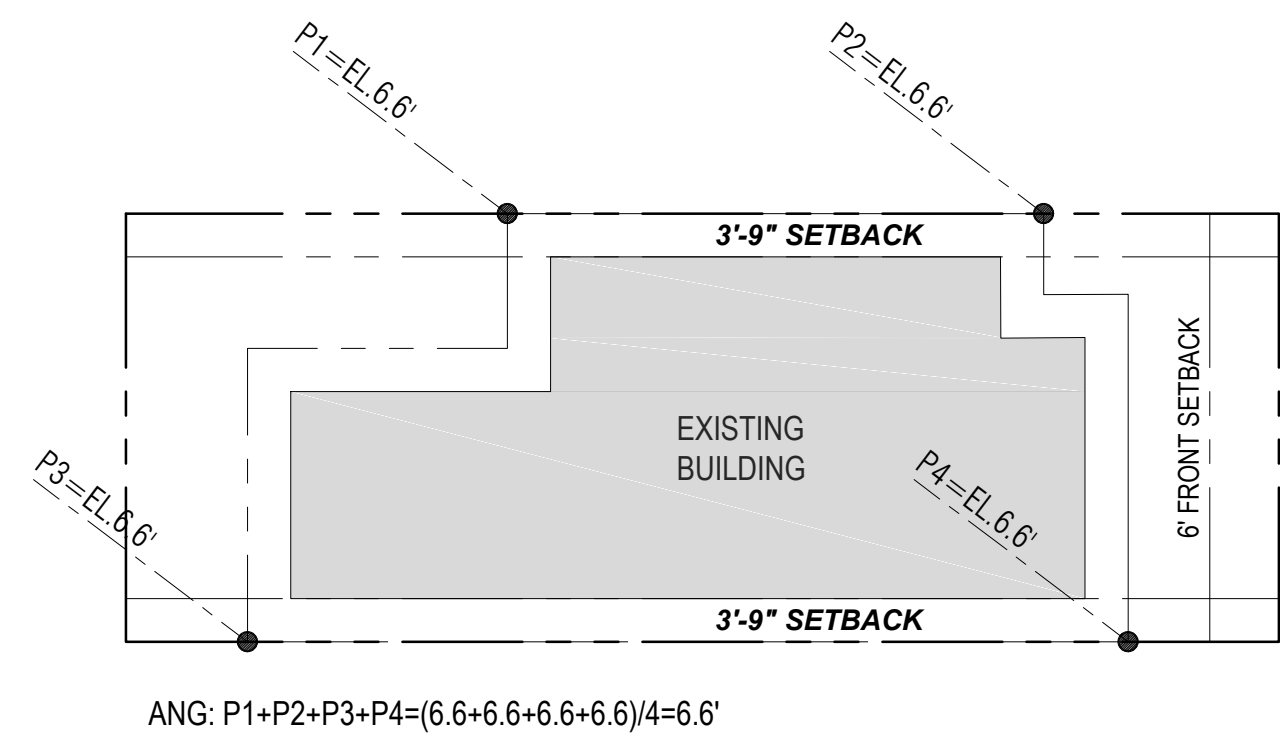
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- B) WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.
- 3.A) PROVIDE A MECHANICAL VENTILATION SYSTEM IN POWDER ROOMS, BATHROOMS CONTAINING A BATHTUB AND/OR SHOWER AND LAUNDRY ROOMS. MECHANICAL SYSTEM MUST BE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR AND EXHAUSTING DIRECTLY TO THE OUTSIDE.
- B) FANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS OR TUB/SHOWER COMBINATIONS, BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
 - I. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF BUILDING
 - II. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY HUMIDITY CONTROL.
4. A) PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. SEE SHEET .A0.6, DETAIL #5 FOR ALLOWABLE MAX. FLOW RATES.
- B) PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE FOR SHOWERS AND TUB SHOWERS.
- 4
- D) PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM.
- C) THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES IN TABLE 4.303.2 (4.303.1) SEE FORM GRN-16 (DETAIL 4) ON SHEET .E) KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY.
- 5.A) PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE
- B) BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NO LESS THAN 6 FEET ABOVE THE FLOOR.
6. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)

ISSUED FOR:	DATE:	REVISION:	DATE:
SCHEMATIC CONCEPT	2-10-20		
PRELIMINARY DESIGN	2-1-2011		

DESCRIPTION:
Proposed Exterior Elevations

A3.0

average natural grade calc.



key notes

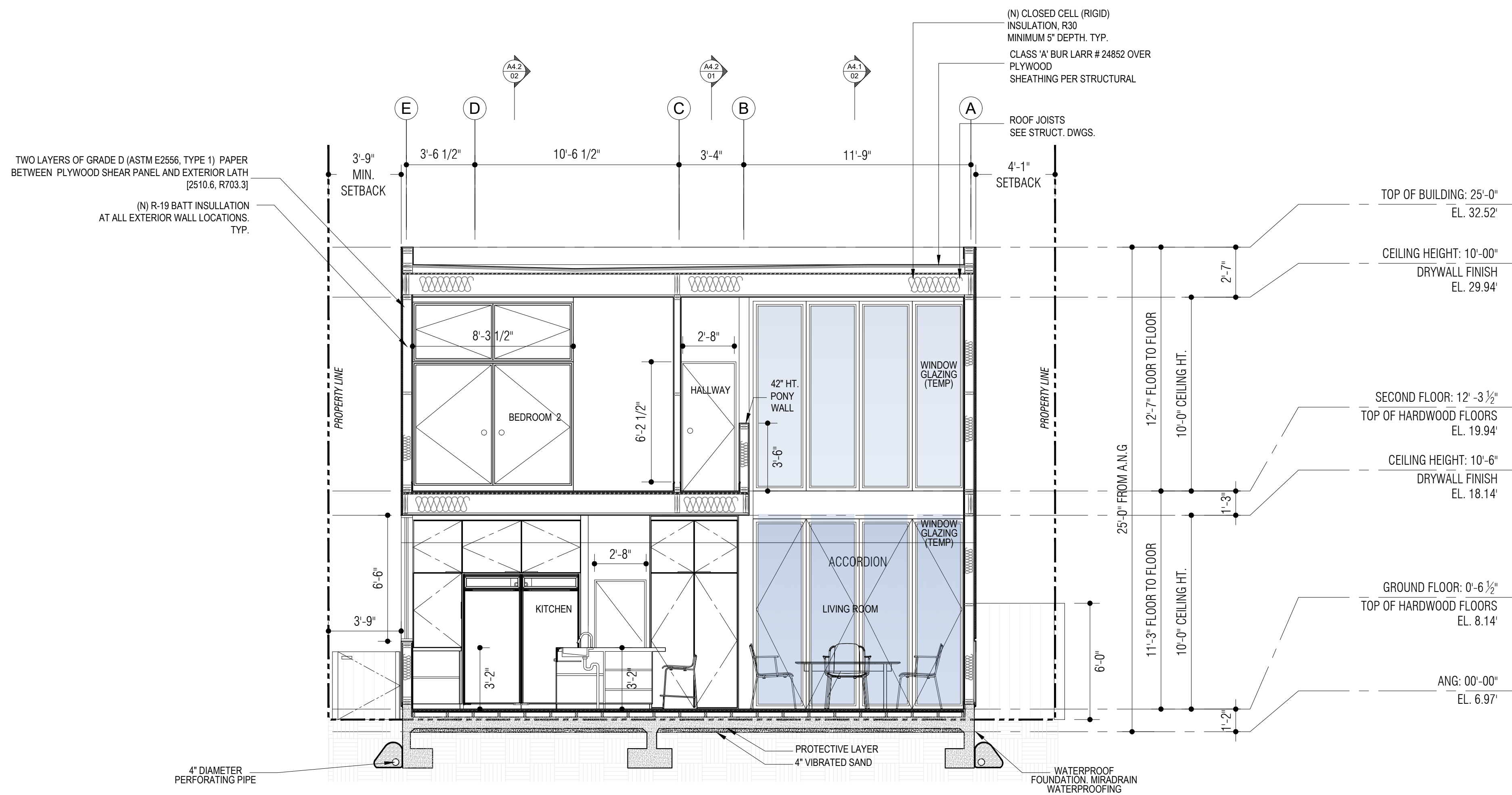
- 01 FULL HEIGHT CABINET WITH ALL ADJUSTABLE SHELVES
- 02 36" COUNTERTOP AFF
- 03 48"W RANGE
- 04 UNDERCOUNTER WINE COOLER
- 05 FARMHOUSE SINK
- 06 TILE BACKSPASH
- 07 CONCRETE BENCH
- 08 IRRIGATION CONTROL UNIT
- 09 SHELF, NICHE
- 10 72" TUB DECK
- 11 24"W DISHWASHER
- 12 PARTITION WALL
- 13 OUTDOOR SEATING BY OWNER
- 14 TANKLESS WATER HEATER
- 15 ELECTRICAL PANEL
- 16 38" REFRIGERATOR
- 17 VENTILATION GRILL
- 18 DURAVIT CORNER SINK - 17"x17"
- 19 EXISTING 7" CONCRETE STEP
- 20 FOLDING DOORS
- 21 METAL GUTTERS
- 22 NATURAL STONE WALLS
- 23 EXISTING CHIMNEY
- 24 EXISTING CONCRETE WALL
- 25 WOODEN GATE (1X6)
- 26 HORIZONTAL WHITE WOOD BOARDS
- 27 VERTICAL GRAY WOOD BOARDS
- 28 SMOOTH STUCCO FINISH
- 29 SILVER METAL FLASHING
- 30 5/8" SILVER REVEAL

- 1.A) EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL.
- B) SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000).
2. A) AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. R315
- B) WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.
- 3.A) PROVIDE A MECHANICAL VENTILATION SYSTEM IN POWDER ROOMS, BATHROOMS CONTAINING A BATHTUB AND/OR SHOWER AND LAUNDRY ROOMS. MECHANICAL SYSTEM MUST BE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR AND EXHAUSTING DIRECTLY TO THE OUTSIDE.
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 B) PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE FOR SHOWERS AND TUB SHOWERS.
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6. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)

ISSUED FOR:	DATE:	REVISION:	DATE:
SCHEMATIC CONCEPT	2/10/20		
PRELIMINARY DESIGN	2/1/21		

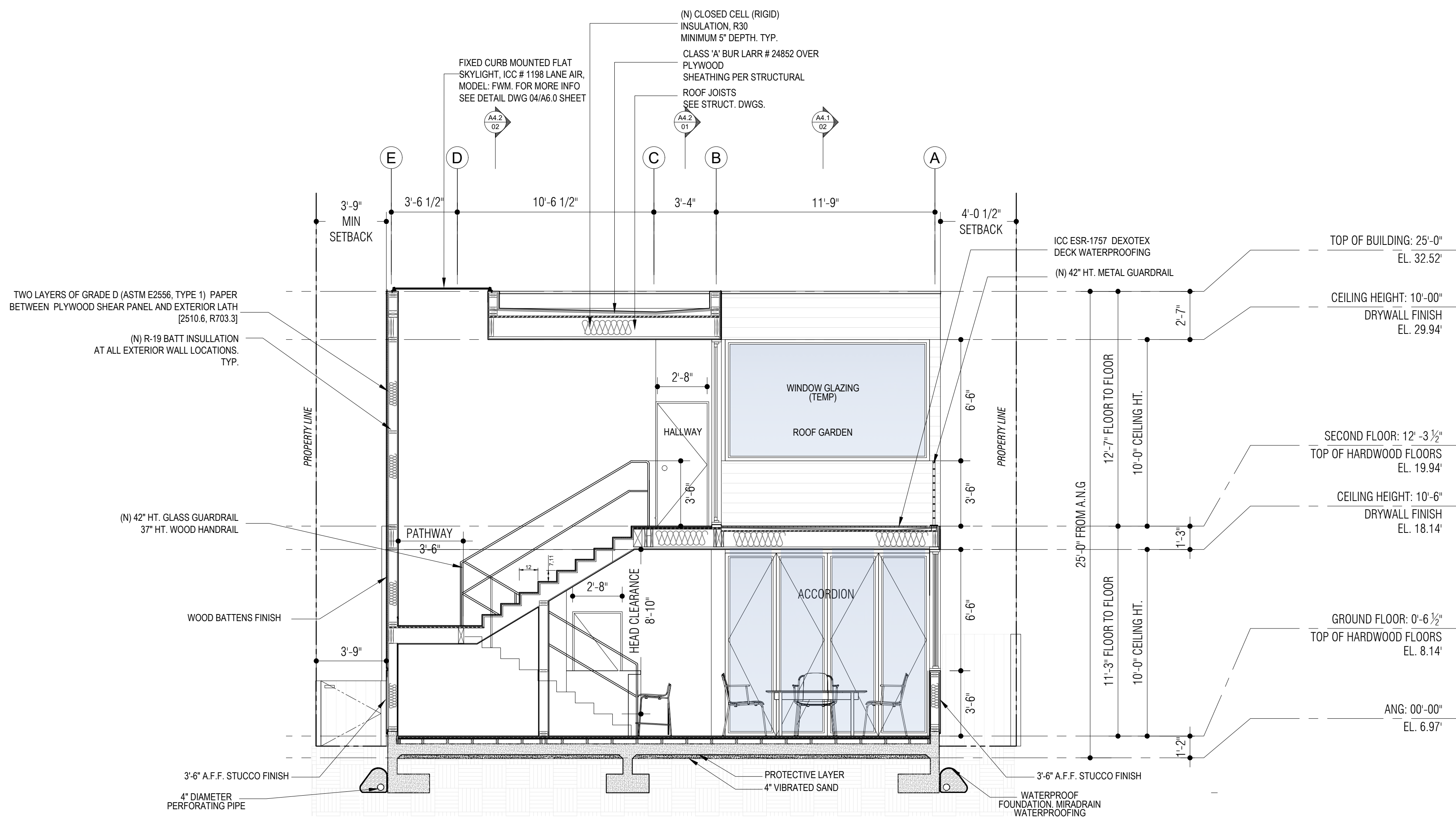
DESCRIPTION:
Proposed Exterior Elevations

A3.1



02 ARCH SECTION
PROPOSED DESIGN

scale: 1/4" = 1'-0"



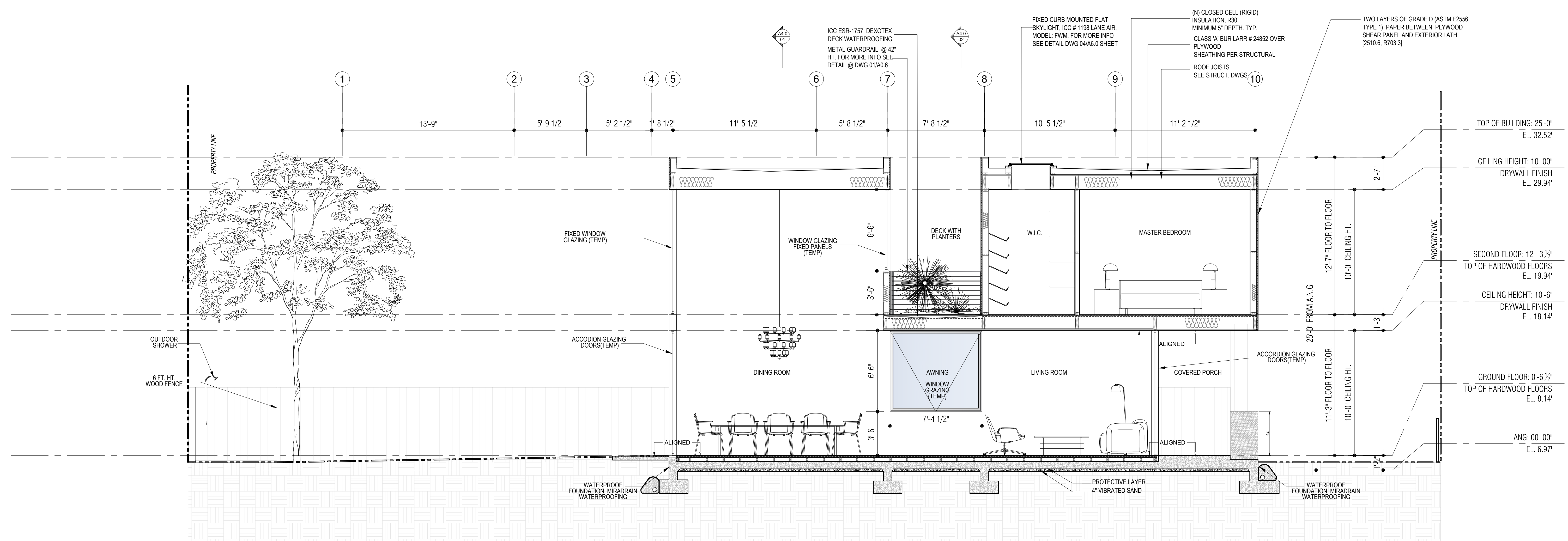
01 ARCH SECTION
PROPOSED DESIGN

scale: 1/4" = 1'-0"

ISSUED FOR:	DATE:	REVISION:	DATE:
SCHEMATIC CONCEPT	2-10-20		
PRELIMINARY DESIGN	2-1-2011		

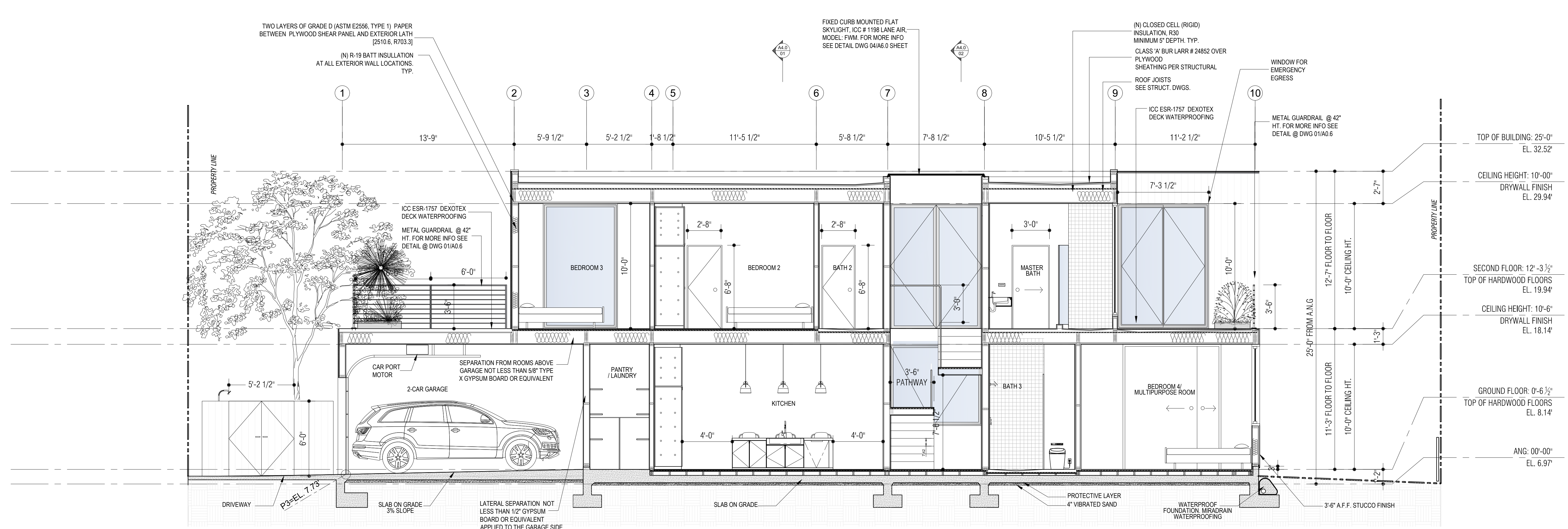
DESCRIPTION:
arch sections

A4.0



02 ARCH SECTION
 PROPOSED DESIGN

scale: 1/4" = 1'-0"



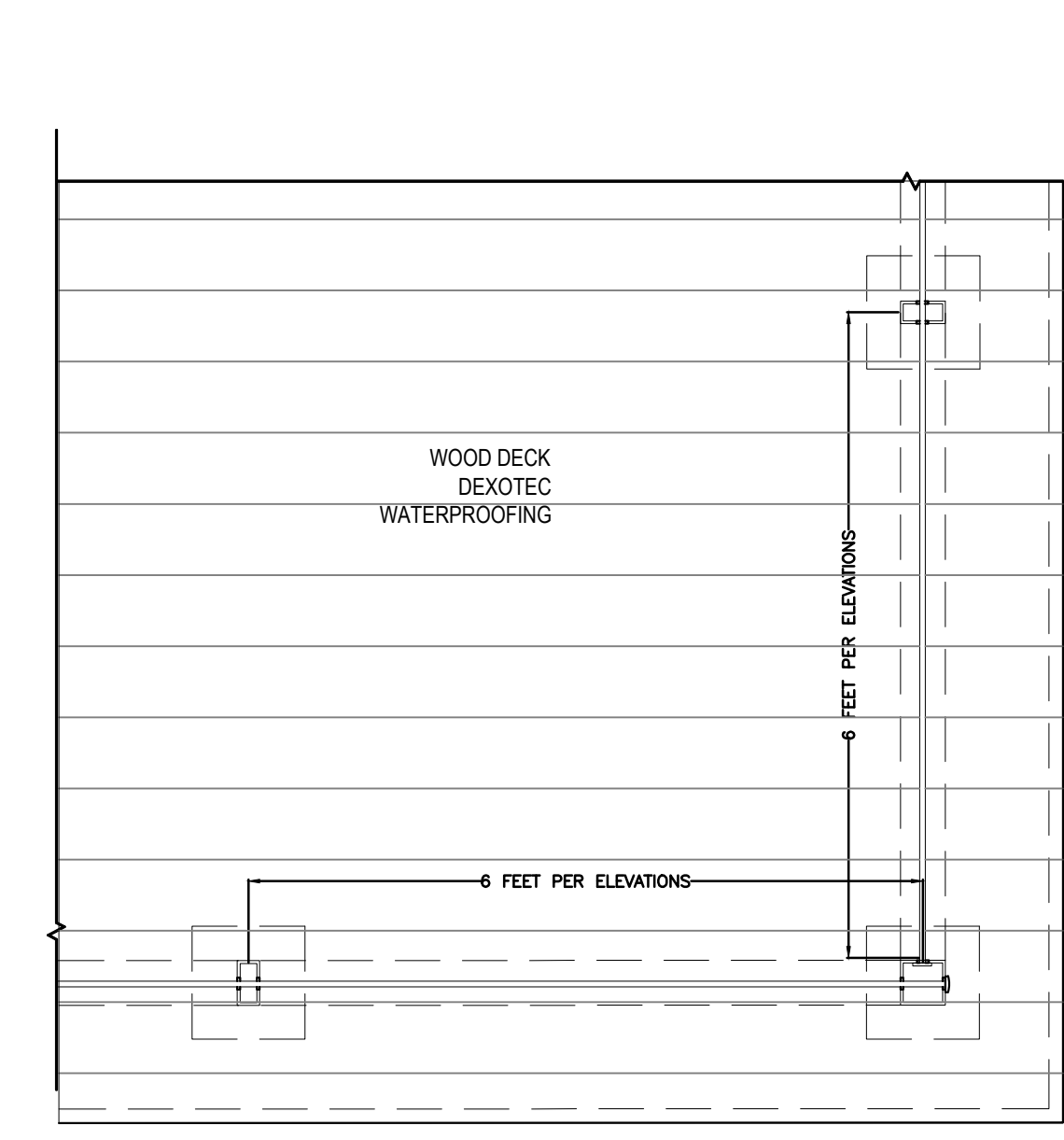
01 ARCH SECTION
 PROPOSED DESIGN

scale: 1/4" = 1'-0"

DATE	REVISION
2-10-20	SCHEMATIC CONCEPT
2-1-2011	PRELIMINARY DESIGN

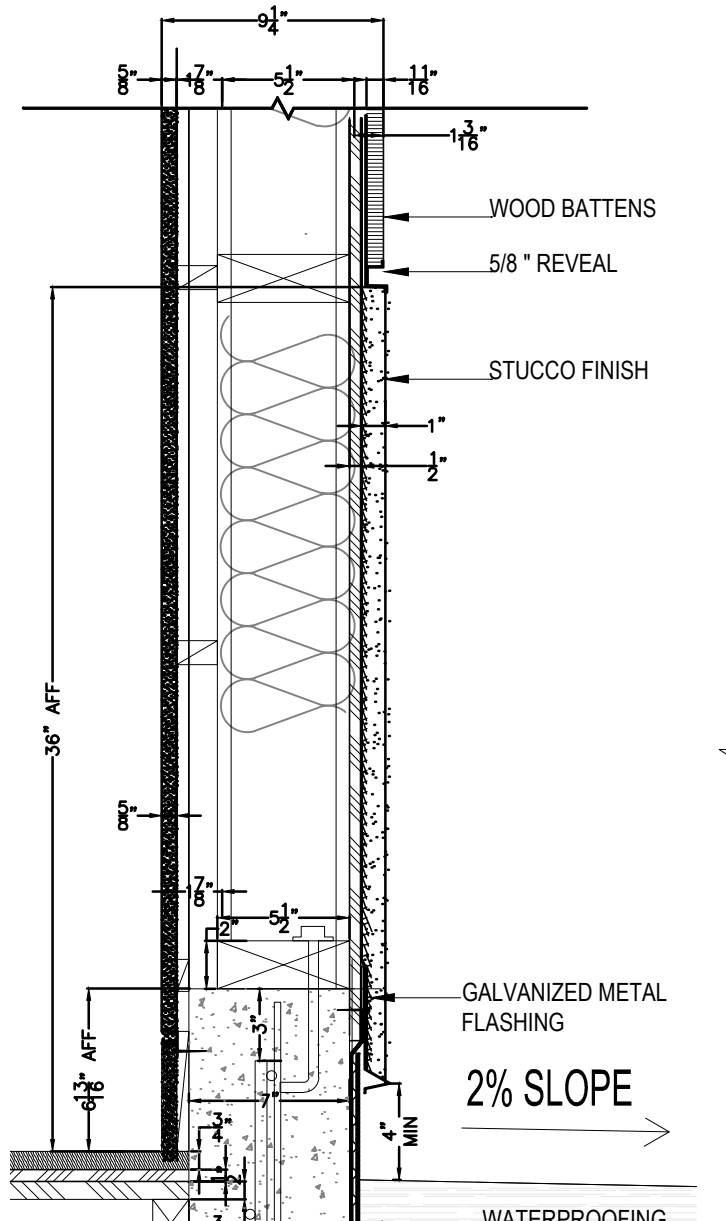
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 arch sections

A4.1



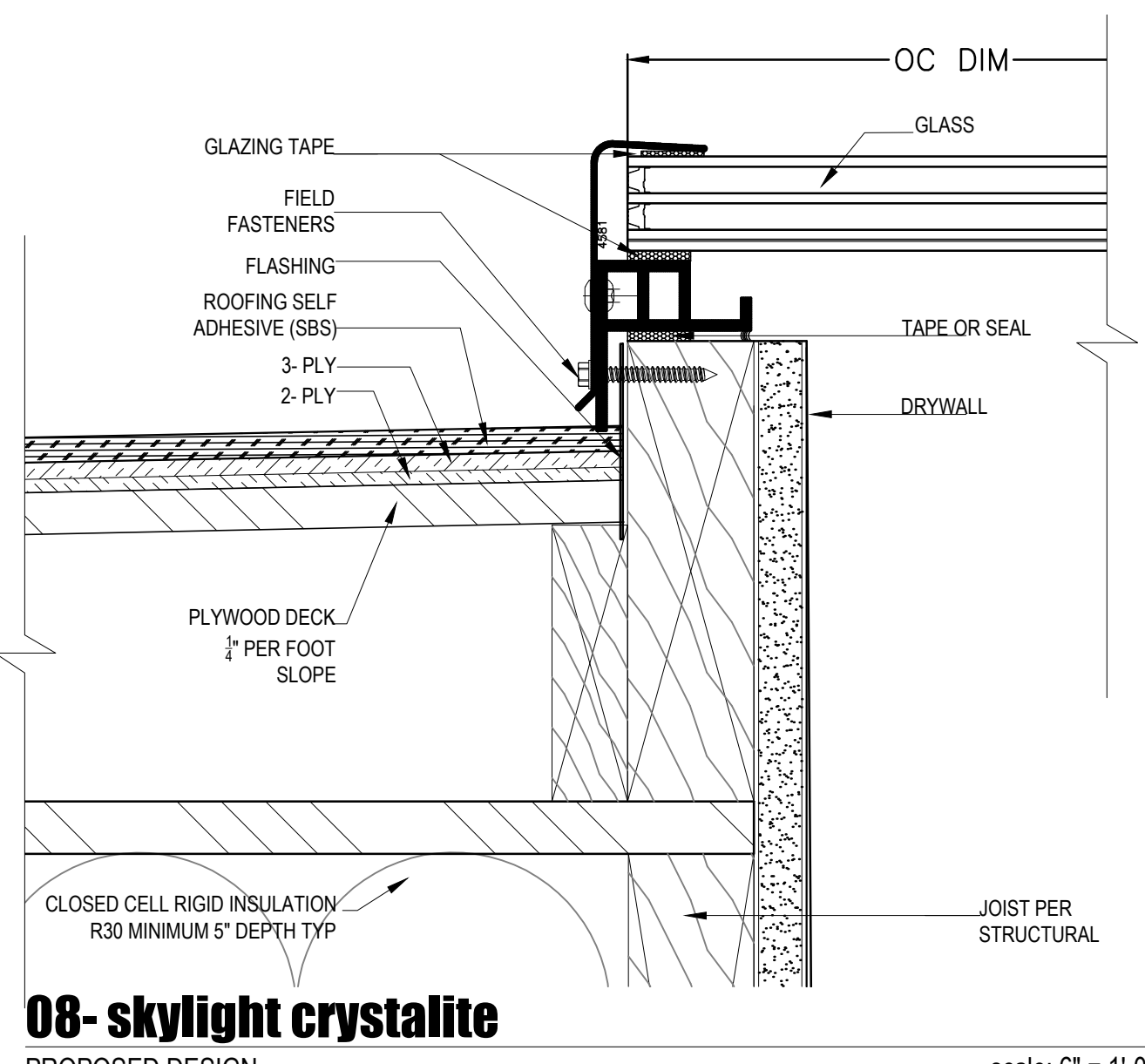
13-custom handrail to deck
PROPOSED DESIGN

scale: 1-1/2" = 1'-0"



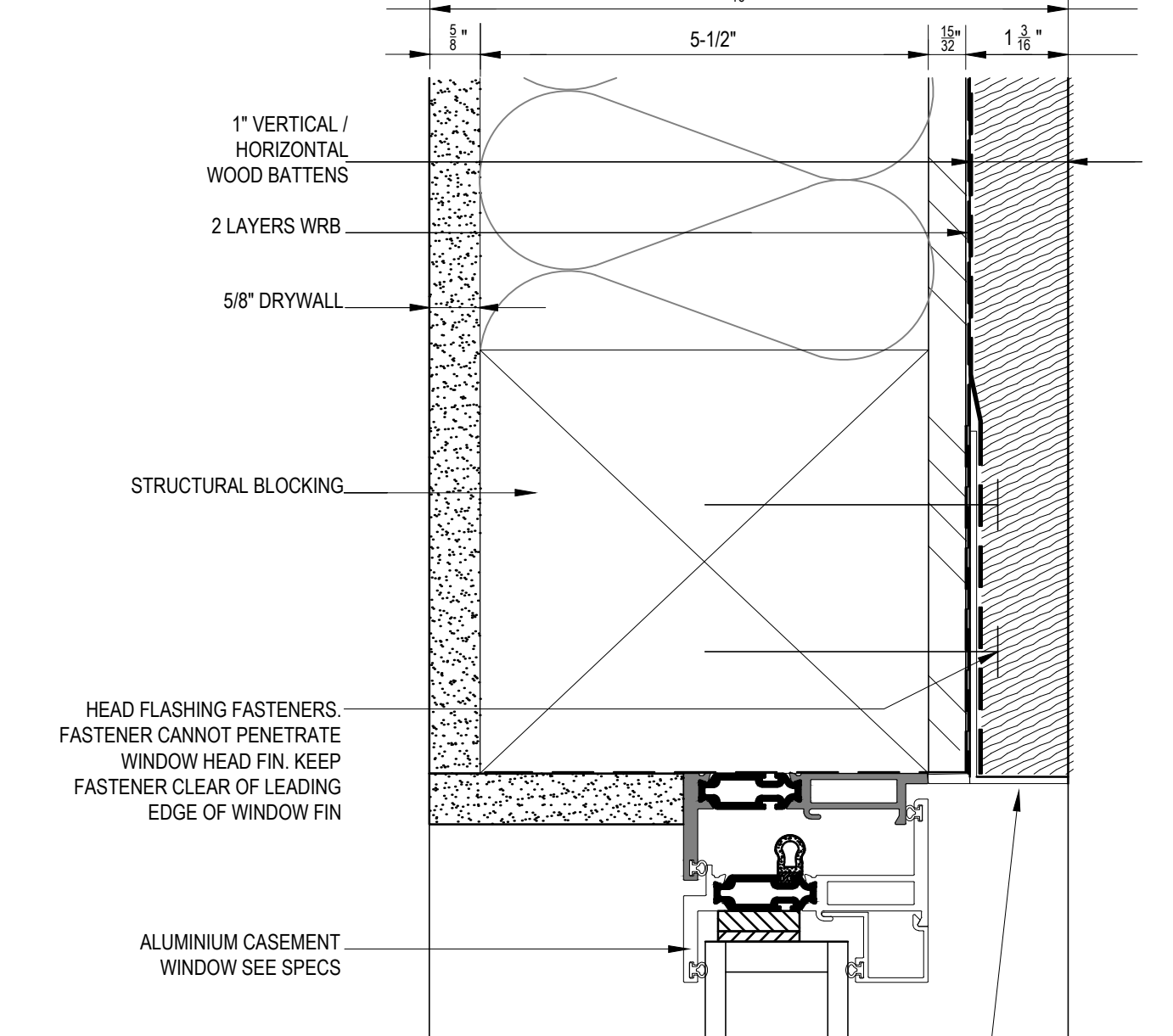
11-stucco to wood threshold
PROPOSED DESIGN

scale: 1-1/2" = 1'-0"



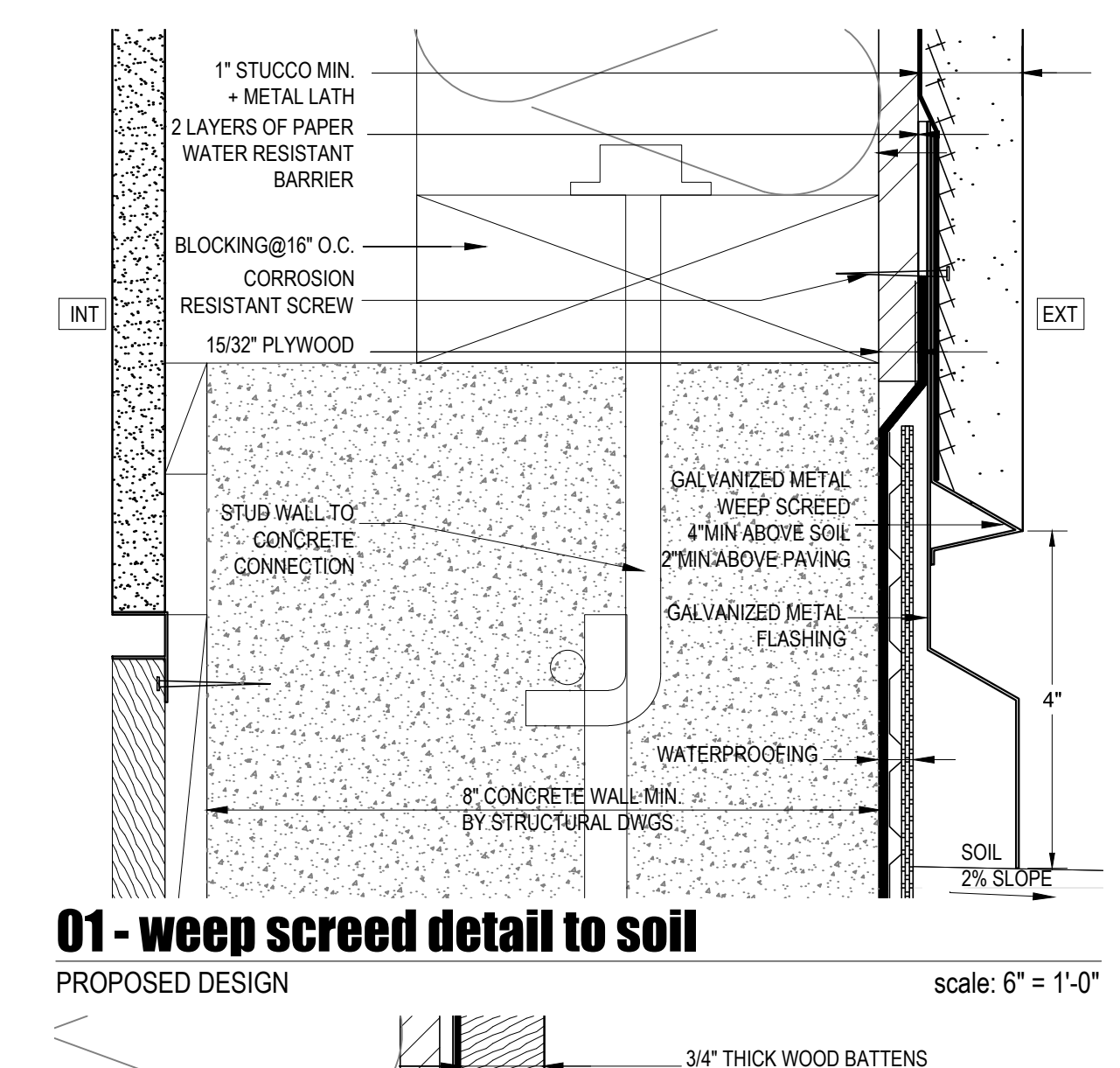
08-skylight crystalite
PROPOSED DESIGN

scale: 6" = 1'-0"



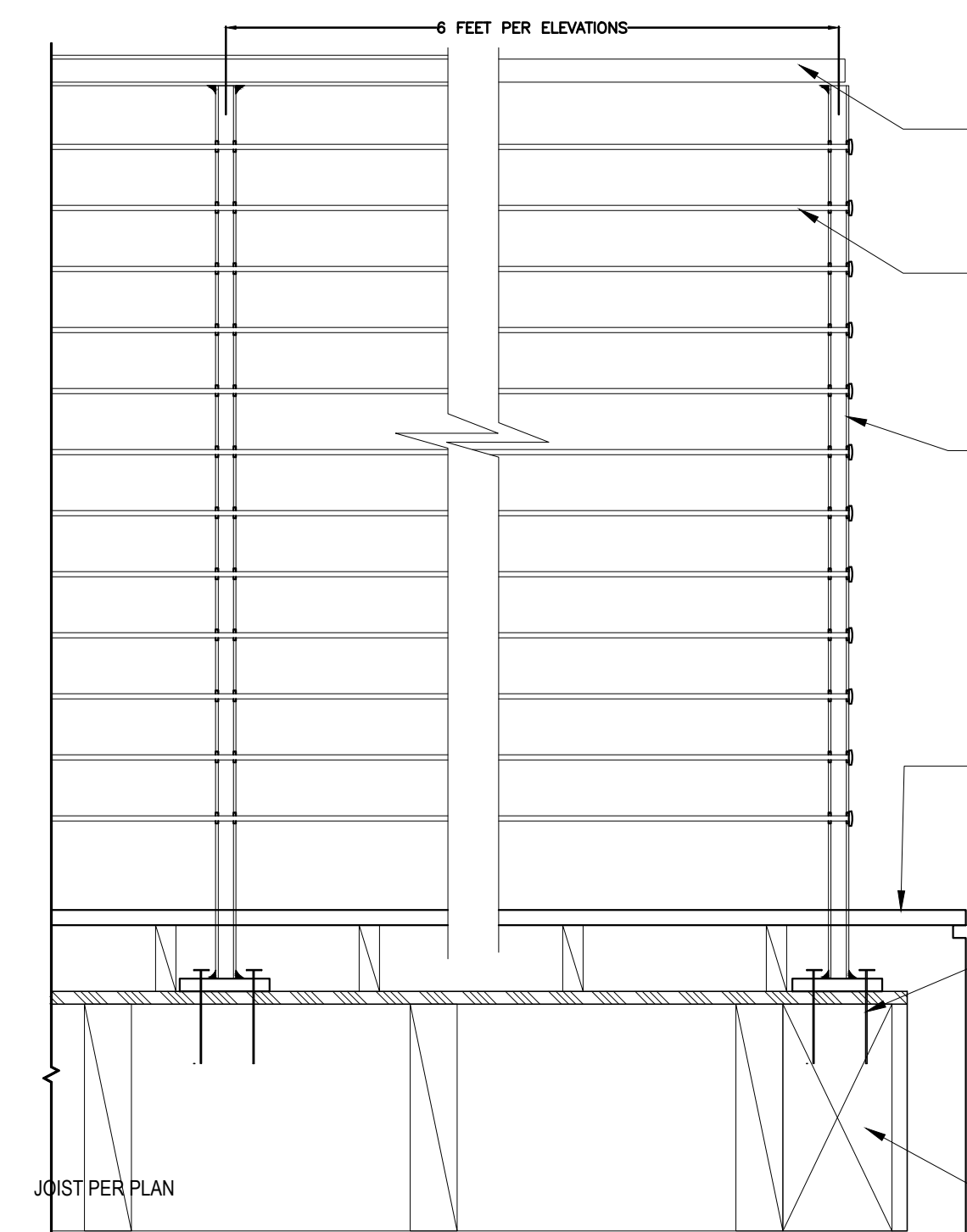
05-window head waterproofing
PROPOSED DESIGN

scale: 6" = 1'-0"



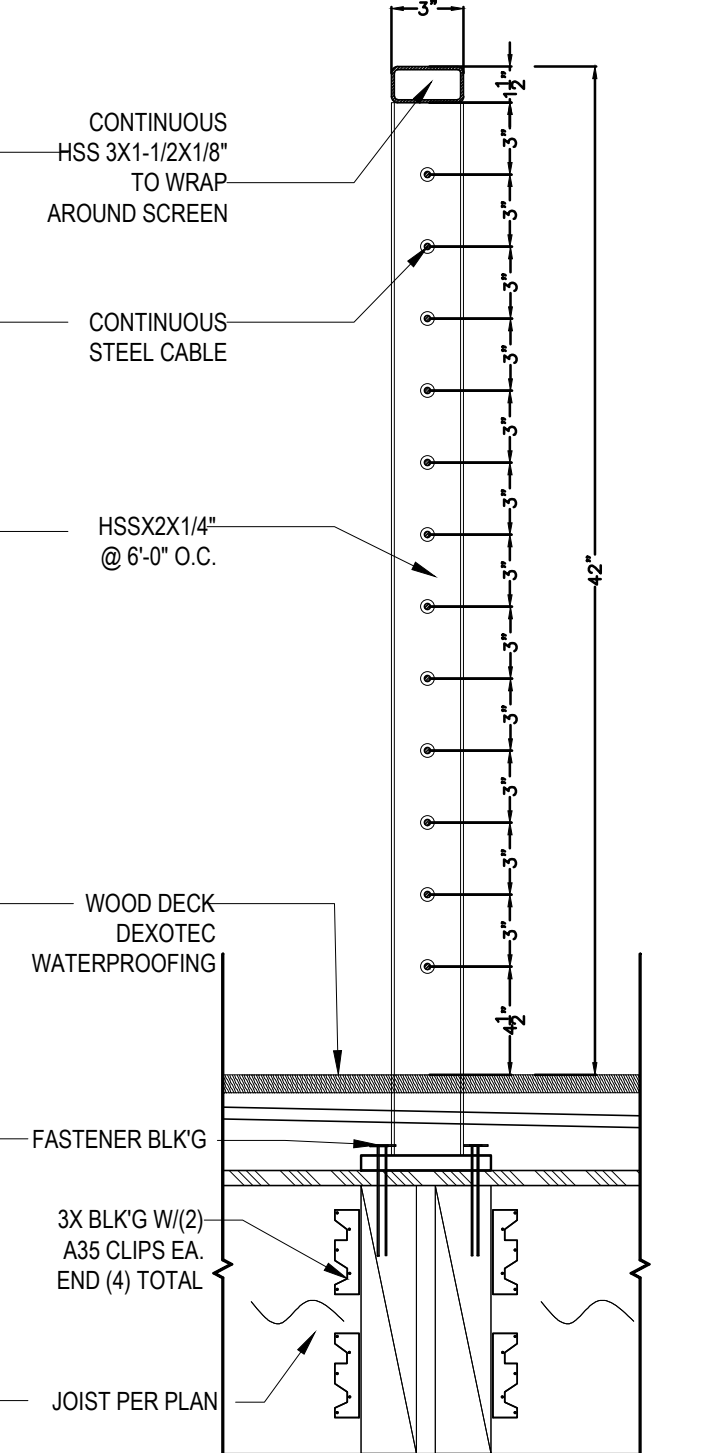
01-weep screed detail to soil
PROPOSED DESIGN

scale: 6" = 1'-0"



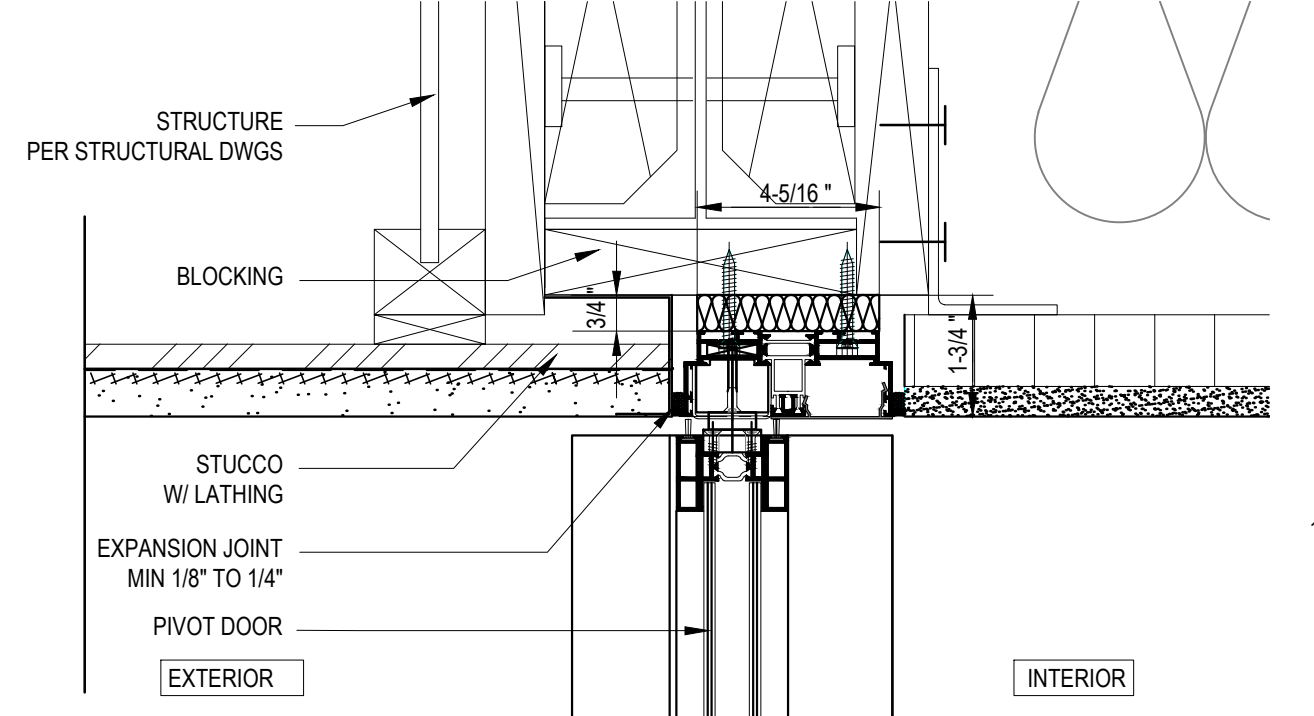
14-custom handrail to deck
PROPOSED DESIGN

scale: 1-1/2" = 1'-0"



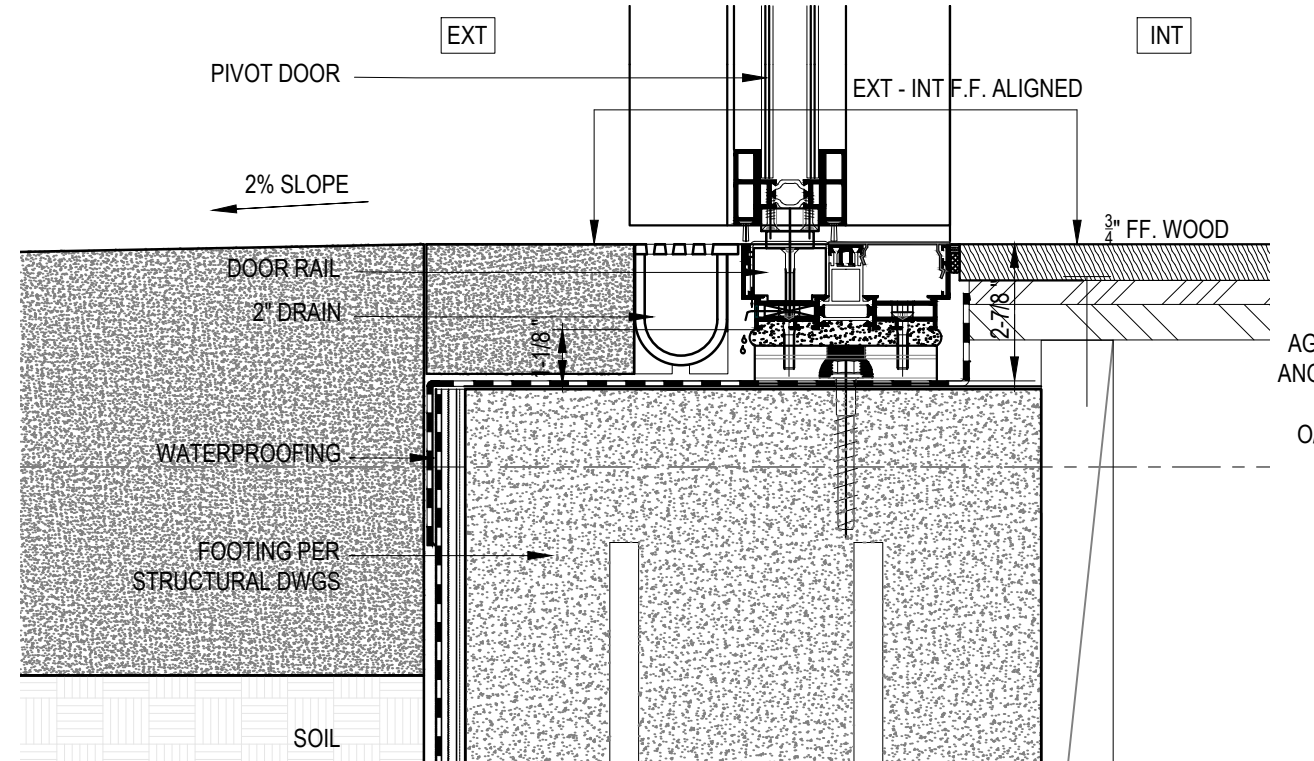
12-custom handrail to deck
PROPOSED DESIGN

scale: 1-1/2" = 1'-0"



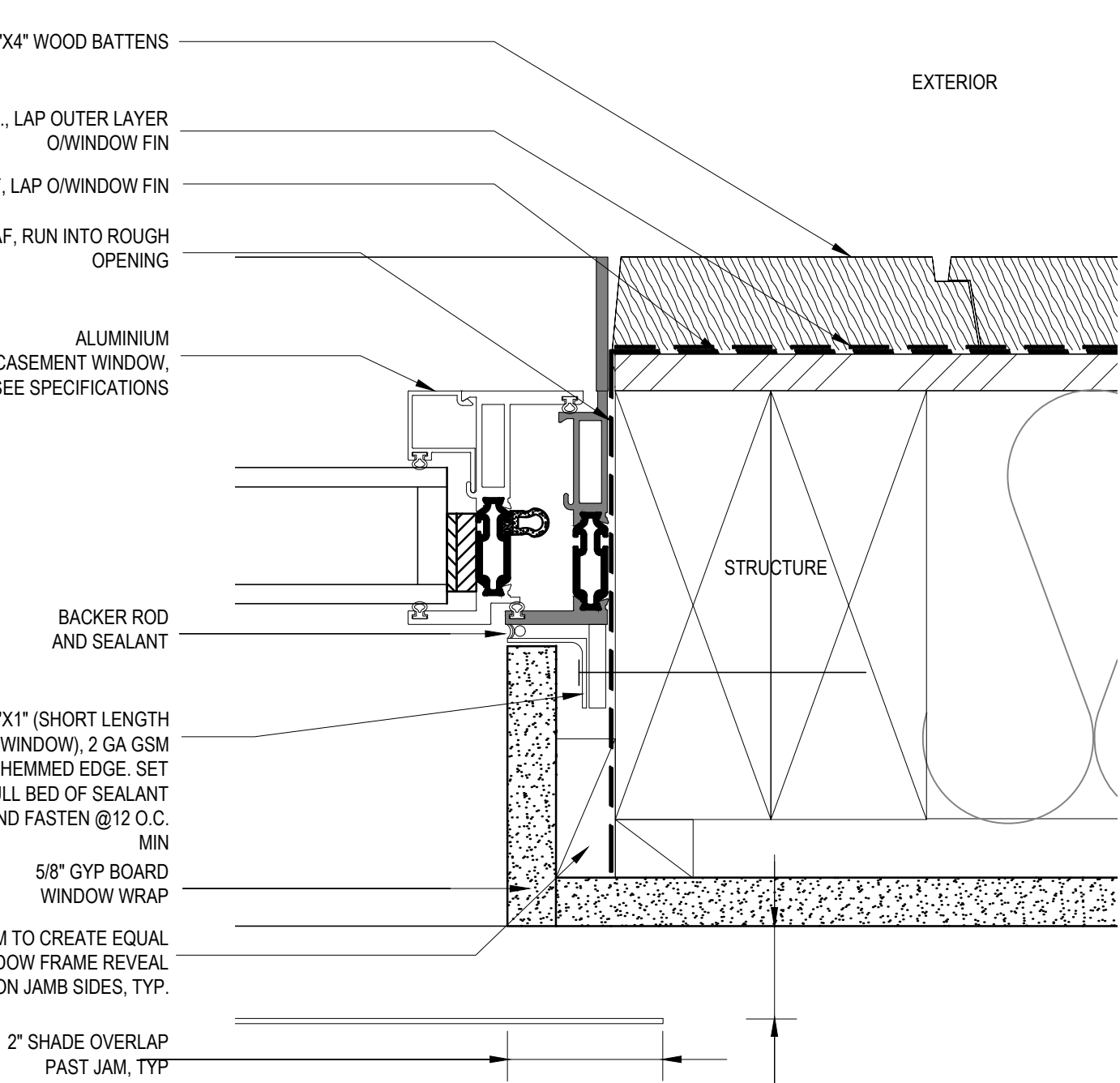
09-entry door head
PROPOSED DESIGN

scale: 6" = 1'-0"



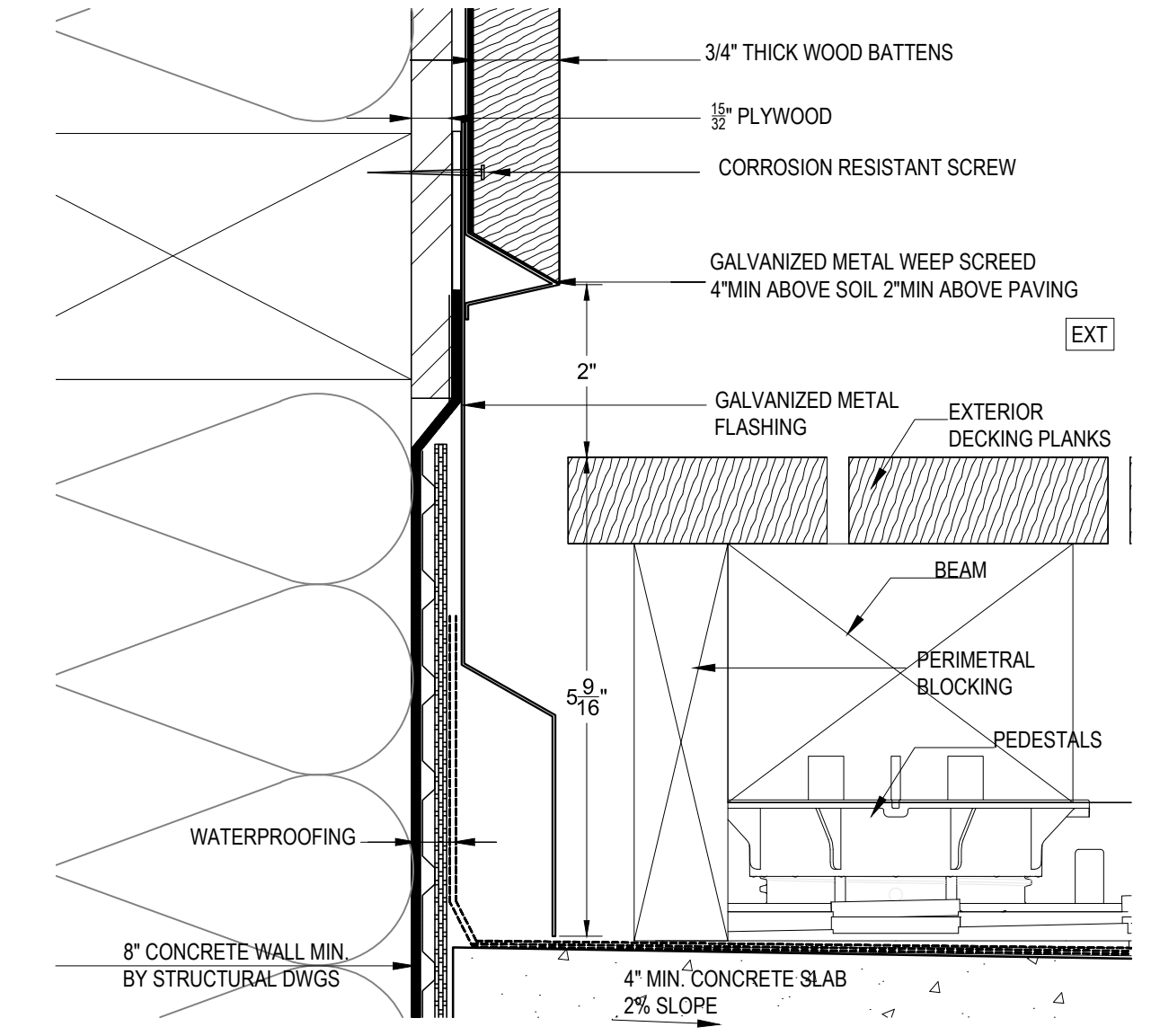
10-entry pivot door threshold
PROPOSED DESIGN

scale: 6" = 1'-0"



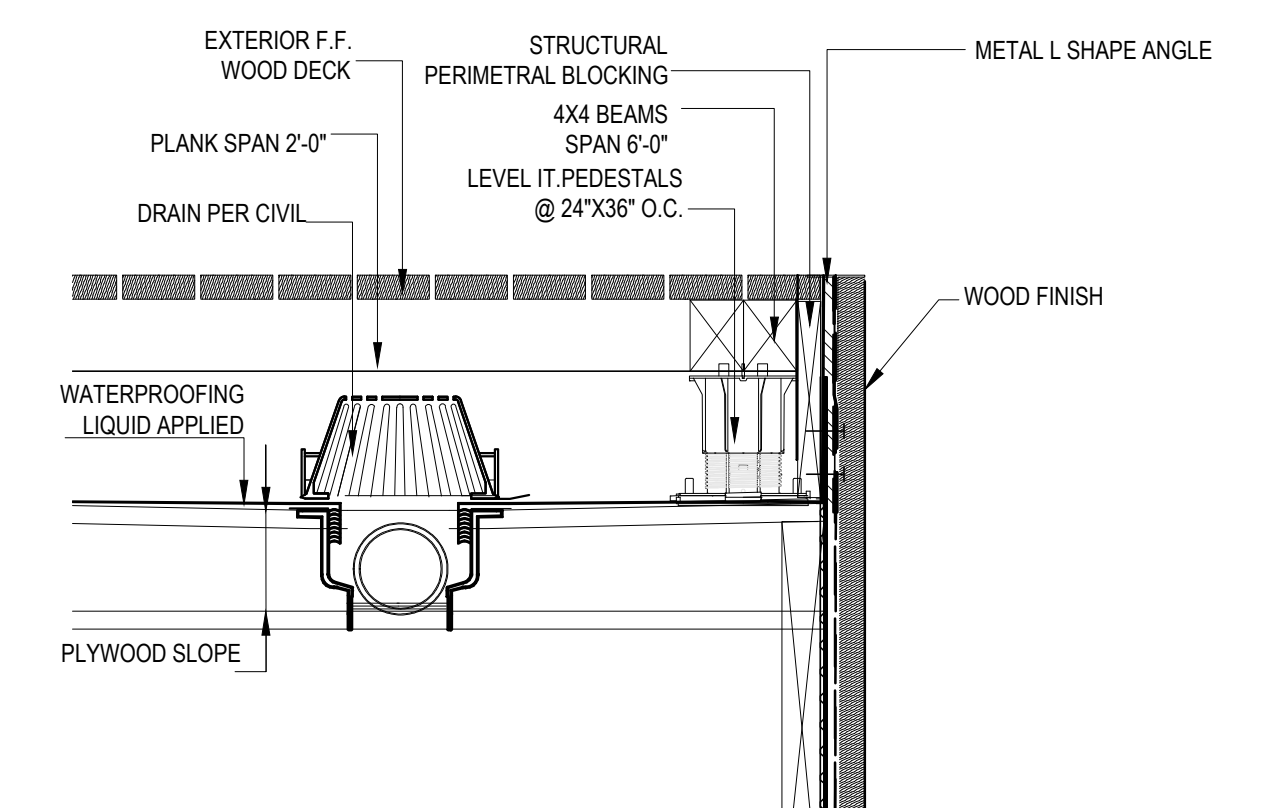
06-window jamb waterproofing
PROPOSED DESIGN

scale: 6" = 1'-0"



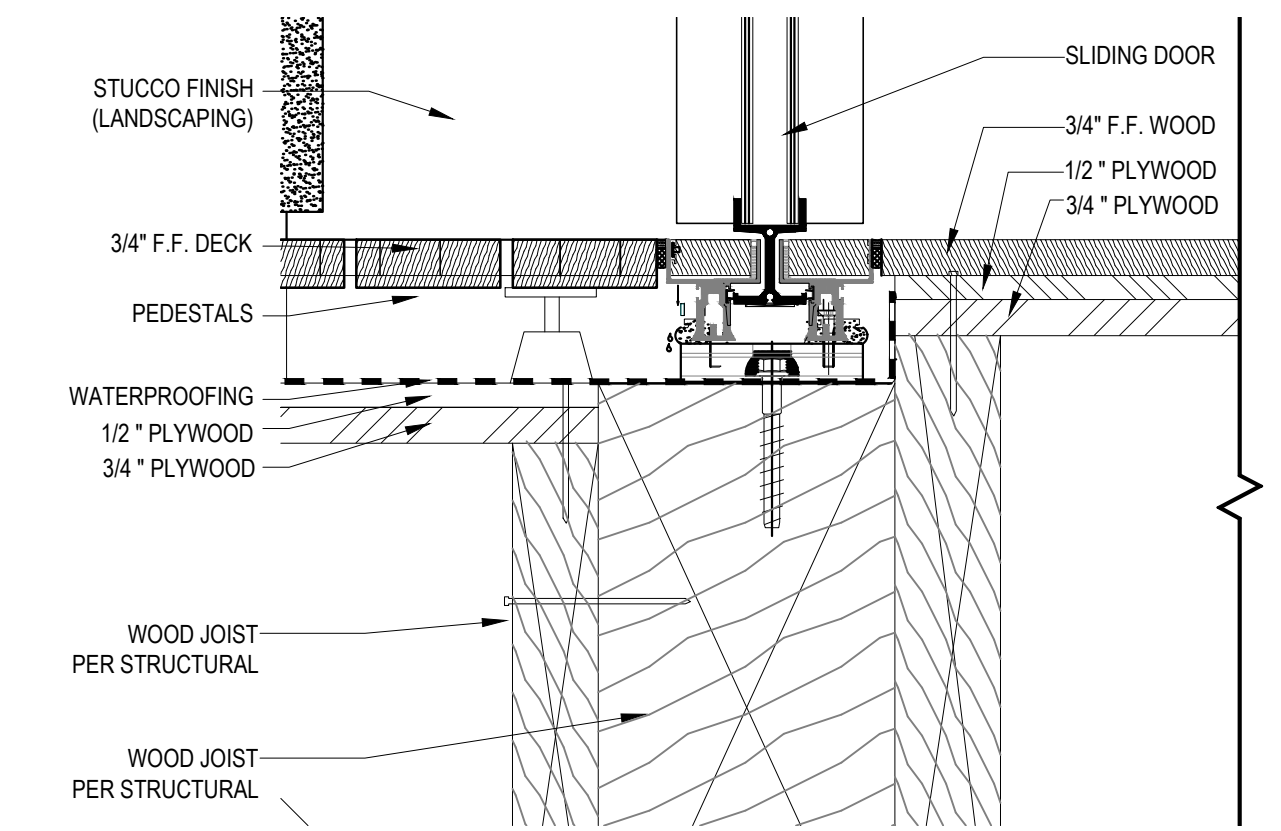
02-weep screed detail to deck
PROPOSED DESIGN

scale: 3" = 1'-0"



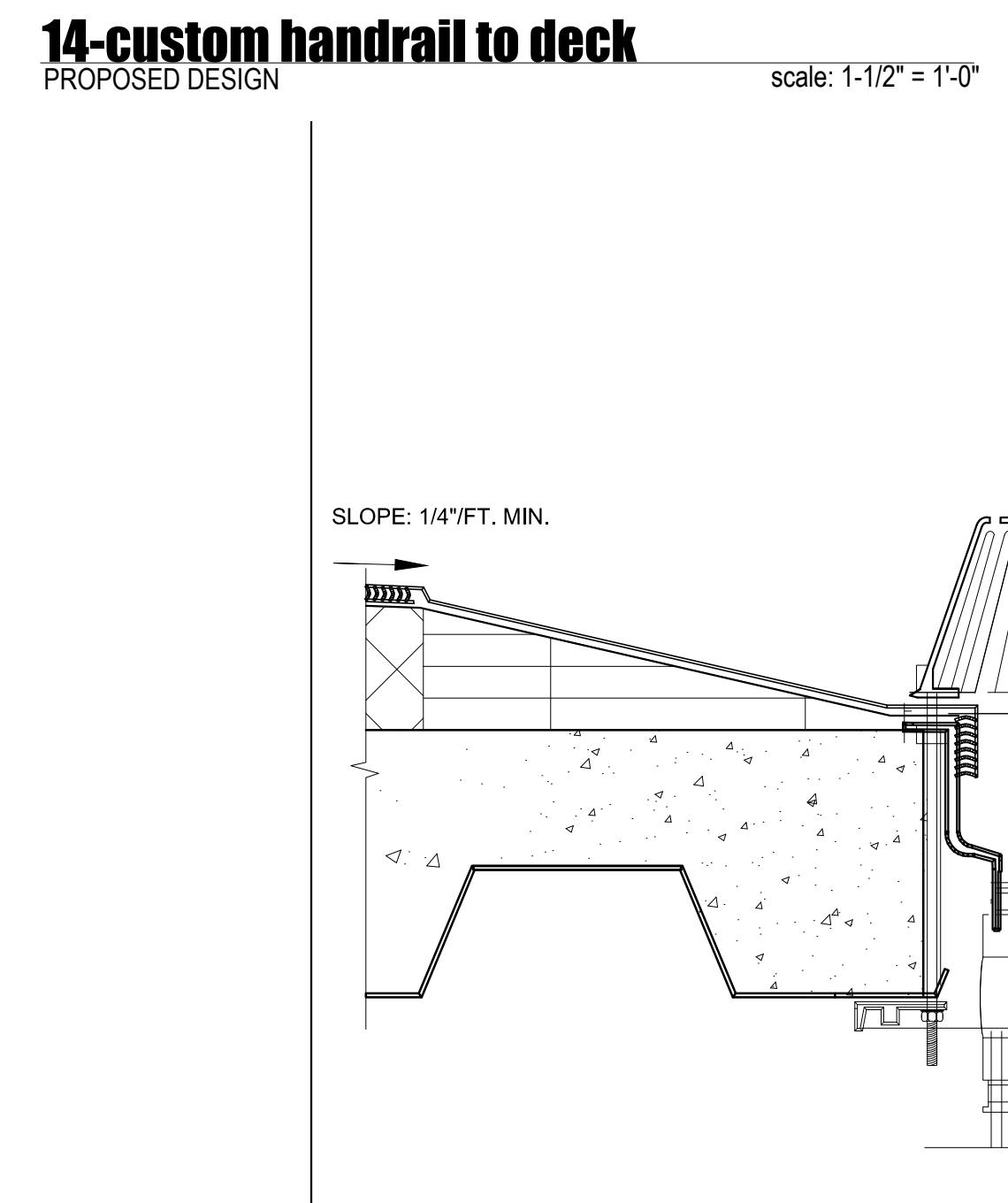
03-deck to landscape
PROPOSED DESIGN

scale: 1-1/2" = 1'-0"



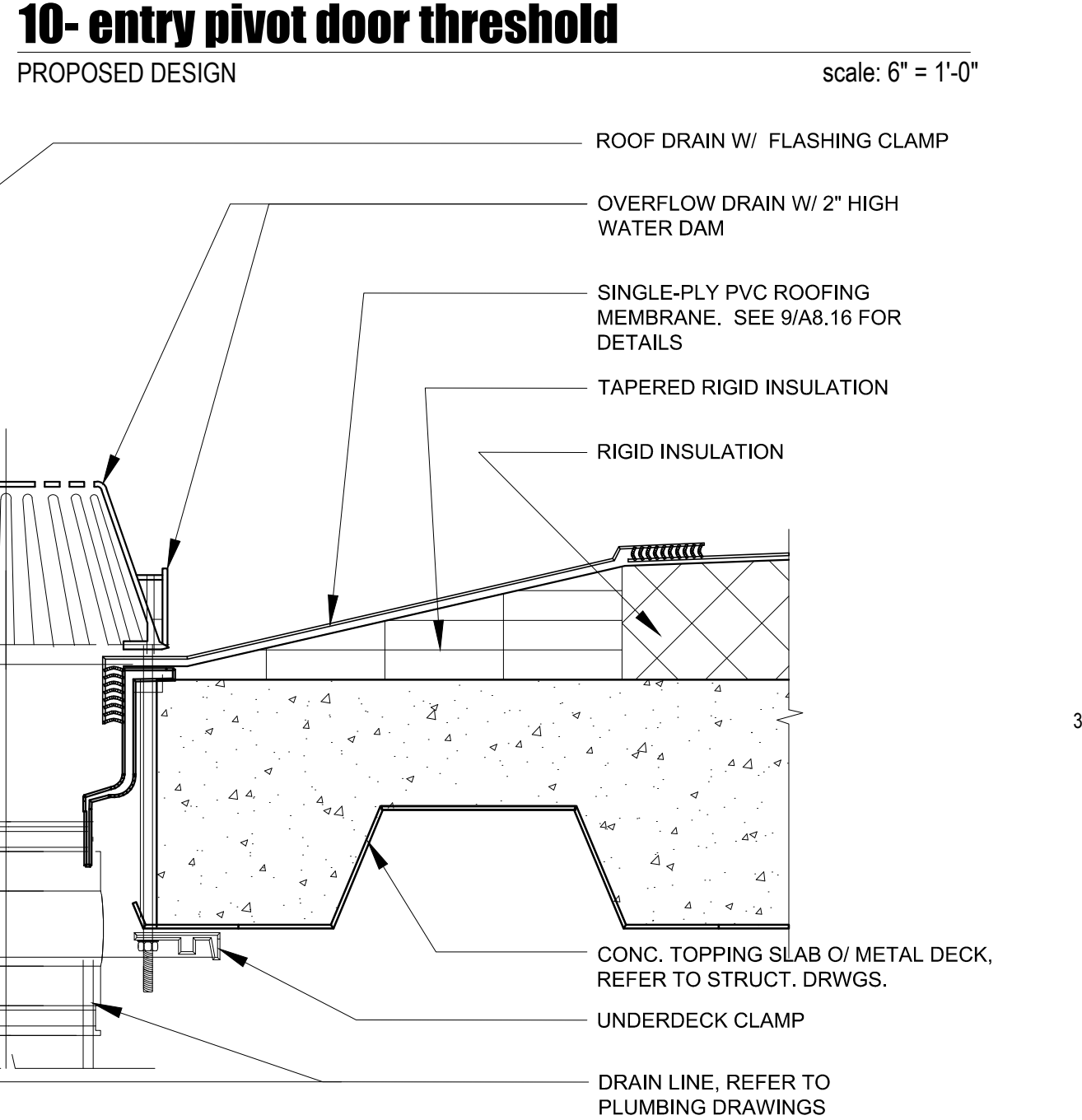
04-interior wood to deck threshold
PROPOSED DESIGN

scale: 1-1/2" = 1'-0"



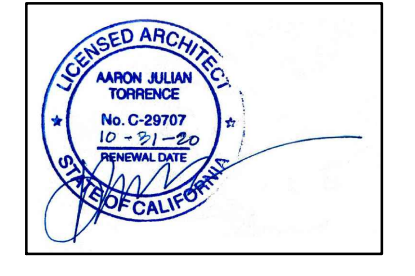
15-roof drain & overflow-TYP detail
PROPOSED DESIGN

scale: 3" = 1'-0"



07-window sill waterproofing
PROPOSED DESIGN

scale: 6" = 1'-0"



ISSUED FOR:	DATE:	REVISION:	DATE:
SCHEMATIC CONCEPT	2005/07		
SCHEMATIC DESIGN	2005/07		
CITY SUBMITTAL	2007/07		
CITY SUBMITTAL REVISION	2102/18		
CITY SUBMITTAL REVISION II	2103/20		

DESCRIPTION:
details

A6.0