

PROJECT SUMMARY										
ZONING SUMMARY										
PROJECT SITE INFORMATION										
		APN #	ADDRESS		ZONING		LOT AREA (SF)	LOT AREA (ACRE)		
					EXISTING / PROPOSED		19,147 SF	.440 ACRES		
		425-351-06	1540 SUPERIOR AVE. COSTA MESA		19 WEST URBAN PLAN / MESA WEST BLUFFS URBAN PLAN		19,147 SF	.440 ACRES		
PROJECT CONSTRUCTION TYPE										
3 STORY TYPE V-B 13D (R3 OCCUPANCY)										
SETBACKS										
		ALLOWED	PROPOSED		NOTES					
SUPERIOR AVE. (WEST)		15'-0" FRONT YARD	15'-0" FRONTYARD		MESA WEST BLUFFS URBAN PLAN					
INDUSTRIAL WAY (SOUTH)		5'-0" SIDE YARD	10'-0" SIDE YARD							
EAST		0'-0" REAR YARD	32'-0" REAR YARD							
NORTH		0'-0" SIDE YARD	5'-6" TO 7'-0" SIDE YARD							
DENSITY										
		22 DU. / AC. = 10 DU.		9 UNITS		MESA WEST BLUFFS URBAN PLAN				
				GROSS DENSITY = 20 DU./AC.						
FLOOR AREA RATIO										
		1.0		0.98		MESA WEST BLUFFS URBAN PLAN				
LOT COVERAGE										
		90% MAX.		8,136 SF		42%		MESA WEST BLUFFS URBAN PLAN TABLE A2		
FLOOR AREA										
				TOTAL = 18,815 SF						
				RESIDENTIAL = 12,791 SF						
				NONRESIDENTIAL WORKSPACE = 2,645 SF						
				GARAGE = 3,379 SF						
BUILDING HEIGHT										
		4 STORIES		60'-0" MAX.		3 STORIES / 0" TO T.O. STAIR ENCLOSURE		42'-		
						MESA WEST BLUFFS URBAN PLAN TABLE A1				
PARKING SUMMARY										
		REQUIRED		PROPOSED		PARKING BREAK DOWN				
						GARAGE = 14 SPACES		TUCK-UNDER = 4 SPACES		
MESA WEST BLUFFS URBAN PLAN TABLE A2		UNIT A1 1.5 SPACES PER UNIT 6 SPACES		PRIVATE GARAGE = 14 SPACES		OPEN PARKING = 9 SPACES		ACCESSIBLE = 1 SPACE		
		UNIT A2 1.5 SPACES PER UNIT 6 SPACES		TUCK-UNDER PARKING = 4 SPACES		STANDARD = 8 SPACES		BICYCLE = 2 SPACES		
		UNIT A3 2.0 SPACES PER UNIT 2 SPACES		BICYCLE SPACE = 2 SPACE						
		GUEST 1.5 SPACES PER UNIT 14 SPACES								
		TOTAL = 28 SPACES		TOTAL = 28 SPACES		TOTAL = 28 SPACES				
UNIT SUMMARY										
PLAN	DESCRIPTION	GARAGE	QUANTITY	NET AREA	NET AREA SUBTOTAL	GROSS AREA	GROSS AREA SUBTOTAL	ROOF DECK / DECK	TOTAL DECK	
UNIT A1	2 BR + OFF. / 2 & 2-HALF BATH TH	258 SF	4 UNITS	1,506 SF	6,024 SF	1,612 SF	6,448 SF	235 SF	940 SF	
UNIT A2	3 BR + OFF. / 2 & 2-HALF BATH TH	475 SF	4 UNITS	1,620 SF	6,480 SF	1,729 SF	6,916 SF	279 SF	1,116 SF	
UNIT A3	2 BR + OFF. / 2 & 2-HALF BATH TH	447 SF	1 UNITS	1,930 SF	1,930 SF	2,072 SF	2,072 SF	334 SF	334 SF	
PROJECT UNIT TOTAL		3,379 SF	9 UNITS	14,434 SF	14,434 SF	15,436 SF	15,436 SF		2,390 SF	
BUILDING SUMMARY										
	RESIDENTIAL	UTILITY / MECHANICAL	GARAGE	NONRESIDENTIAL WORKSPACE	FAR BUILDING FLOOR AREA (F.A.R.)	TOTAL GROSS BUILDING FLOOR AREA				
BUILDING 1	5,740 SF	40 SF	1,438 SF	1,285 SF	8,463 SF	8,503 SF				
BUILDING 2	7,051 SF	40 SF	1,941 SF	1,360 SF	10,352 SF	10,392 SF				
TOTAL	12,791 SF	80 SF	3,379 SF	2,645 SF	18,815 SF	18,895 SF				
OPEN SPACE / AMMENITY SUMMARY										
		REQUIRED	MESA WEST BLUFFS URBAN PLAN TABLE A2		PROPOSED					
COMMON OPEN SPACE		OPEN SPACE - 30% OF LOT AREA		5,744 SF		PRIVATE DECK = 865 SF				
		(UP TO 10% [1,940 SF] OF ROOF DECK CAN BE COUNTED TOWARDS REQ.)				ROOF DECK = 1,525 SF				
						GROUND AREA = 4,970 SF				
				TOTAL = 5,744 SF		TOTAL = 7,360 SF				
BICYCLE SUMMARY										
		REQUIRED	TOTAL REQUIRED		SHORT TERM SPACES =		TOTAL PROVIDED BICYCLE SPACE =			
SHORT TERM BICYCLE SPACE		2 MIN. PER CGC 5.106.4.1.1		2 SPACES		2 SPACES		2 SPACES		
		SHORT TERM BICYCLE SPACE REQUIRED		2 SPACES		TOTAL PROVIDED BICYCLE SPACE =		2 SPACES		

VICINITY MAP



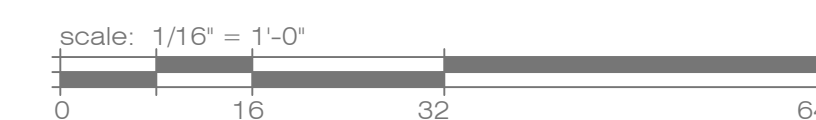
SHEET INDEX

- SD-1.0 PROJECT INFORMATION
- TTM1 TENTATIVE TRACT MAP (FOR REFERENCE)
- C1 PRELIMINARY GRADING PLAN (FOR REFERENCE)
- C2 SECTIONS (FOR REFERENCE)
- SD-1.1 CONCEPT SITE PLAN
- SD-2.1 BUILDING PLANS
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- SD-2.3 UNIT PLANS
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- SD-3.1 PERSPECTIVE
- SD-3.2 BUILDING ELEVATIONS
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- SD-4.1 MATERIAL BOARD
- L-1 PRELIMINARY LANDSCAPE PLAN
- L-2 PRELIMINARY PLANT PALETTE IMAGERY
- L-3 PRELIMINARY IRRIGATION CALCS. & STATEMENTS

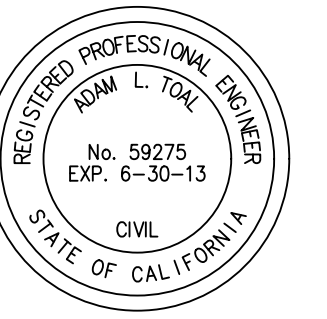
1540 SUPERIOR AVE. LIVE / WORK - COSTA MESA, CA

APPLICANT / OWNER
BERK CUSTOM HOMES, INC.

PROJECT INFORMATION



WITHEE MALCOLM ARCHITECTS
A BSB DESIGN STUDIO
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NO.	DATE	BY	REVISIONS

1540 SUPERIOR AVE. LIVE/WORK
PRELIMINARY GRADING PLAN
 POR. LOT 11, NEWPORT HEIGHTS (MM 4/83)
 1540 SUPERIOR AVENUE, COSTA MESA, CA

GRADING LEGEND

- CONCRETE PAVING
- ASPHALT PAVING (PROPOSED)
- 100 CONTOUR (EXISTING)
- 100 CONTOUR (PROPOSED)
- 100.00 SPOT ELEVATION (PROPOSED)
- (100.00) SPOT ELEVATION (MATCH EXISTING)
- 4" PROPOSED DRAIN LINE
- FM PROPOSED FORCE MAIN
- EXISTING SCREEN WALL
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL

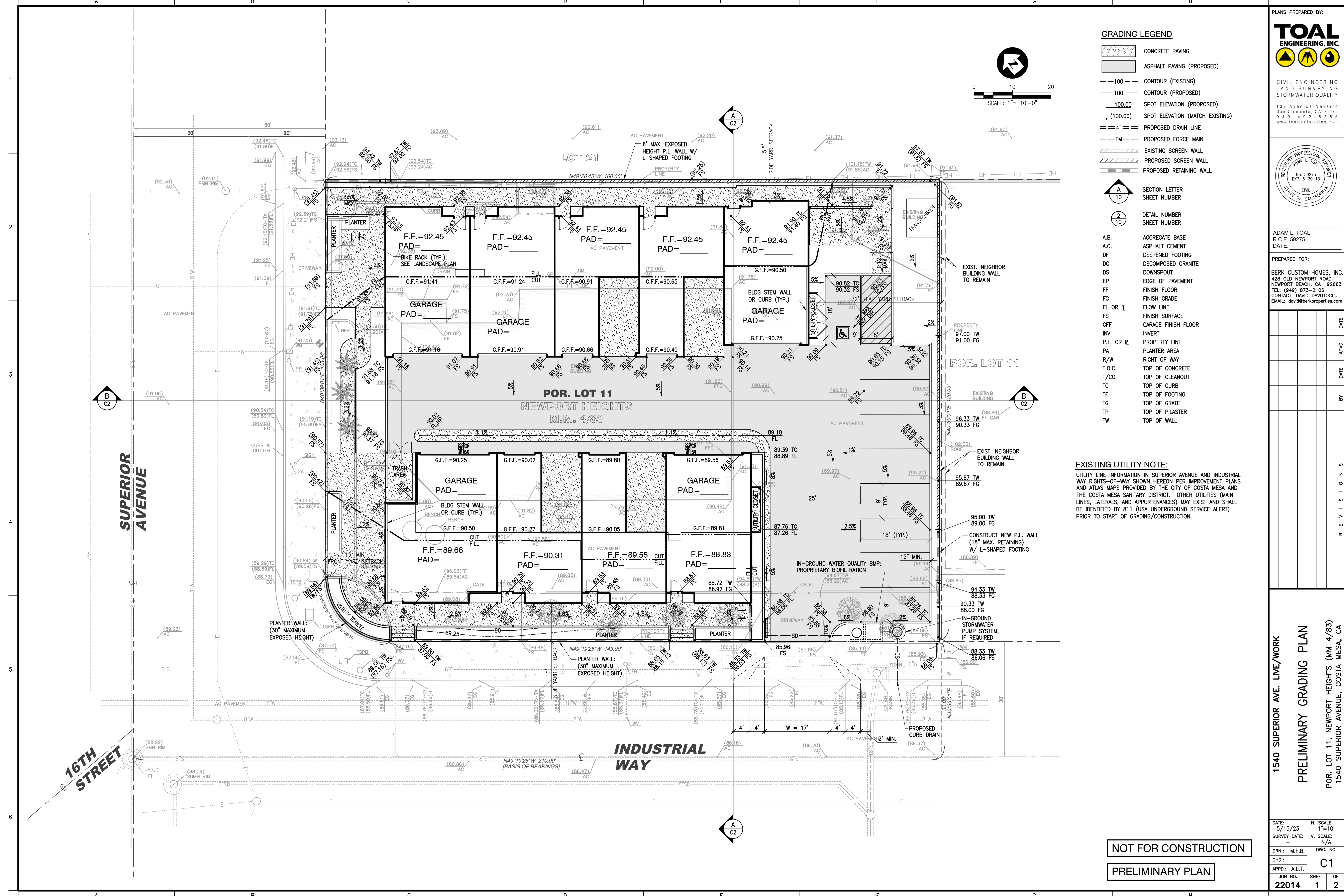
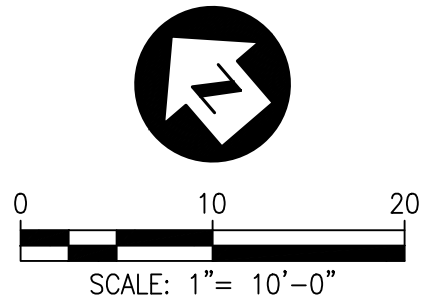
SECTION LETTER
A 10 SHEET NUMBER

DETAIL NUMBER
2 10 SHEET NUMBER

- A.B. AGGREGATE BASE
- A.C. ASPHALT CEMENT
- DF DEEPEMED FOOTING
- DG DECOMPOSED GRANITE
- DS DOWNSPOUT
- EP EDGE OF PAVEMENT
- FF FINISH FLOOR
- FG FINISH GRADE
- FL OR FL FLOW LINE
- FS FINISH SURFACE
- GFF GARAGE FINISH FLOOR
- INV INVERT
- P.L. OR PL PROPERTY LINE
- PA PLANTER AREA
- R/W RIGHT OF WAY
- T.O.C. TOP OF CONCRETE
- TC TOP OF CURB
- TF TOP OF FOOTING
- TG TOP OF GRATE
- TP TOP OF PILASTER
- TW TOP OF WALL

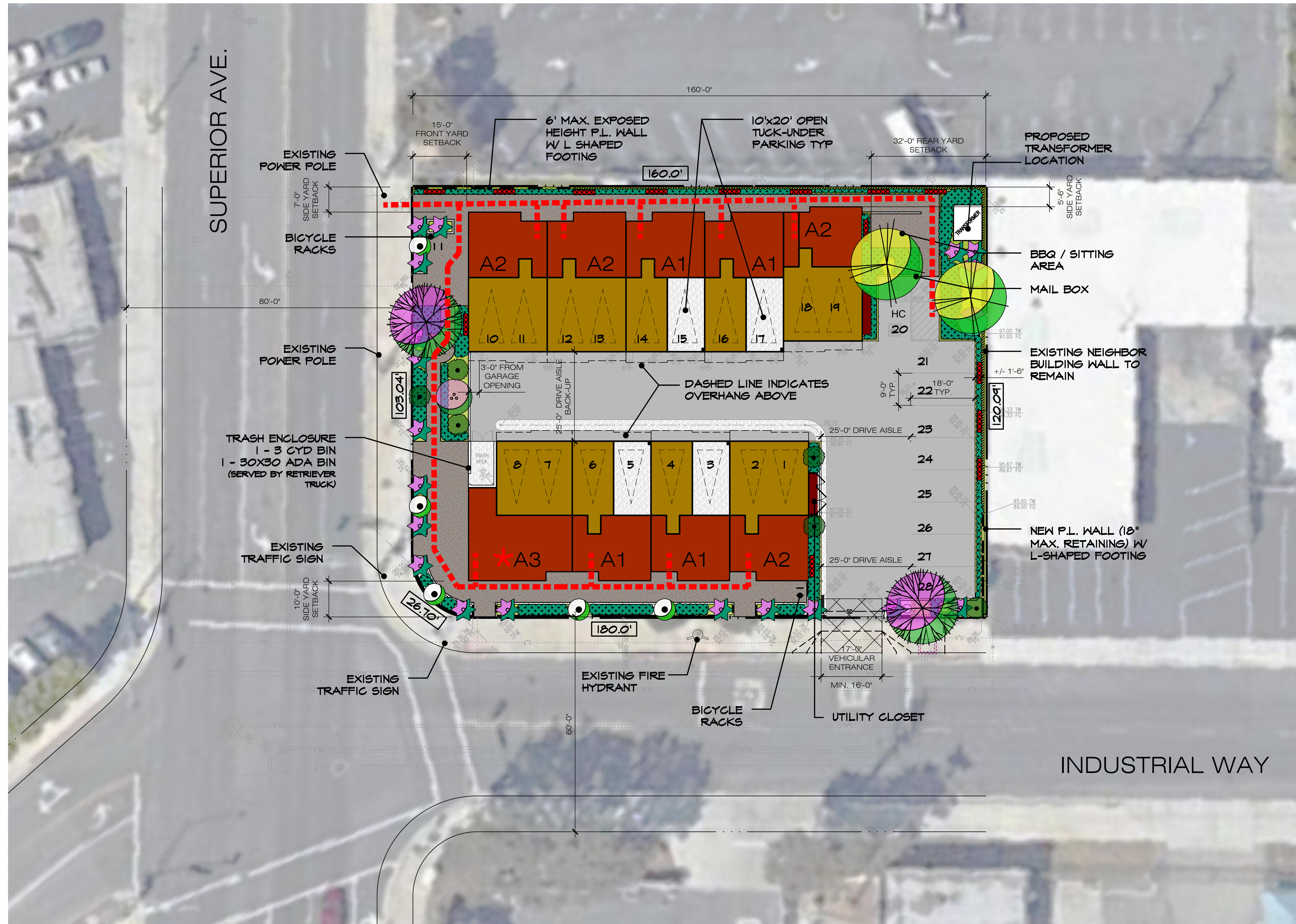
EXISTING UTILITY NOTE:

UTILITY LINE INFORMATION IN SUPERIOR AVENUE AND INDUSTRIAL WAY RIGHTS-OF-WAY SHOWN HEREON PER IMPROVEMENT PLANS AND ATLAS MAPS PROVIDED BY THE CITY OF COSTA MESA AND THE COSTA MESA SANITARY DISTRICT. OTHER UTILITIES (MAIN LINES, LATERALS, AND APPURTENANCES) MAY EXIST AND SHALL BE IDENTIFIED BY 811 (USA UNDERGROUND SERVICE ALERT) PRIOR TO START OF GRADING/CONSTRUCTION.



NOT FOR CONSTRUCTION

PRELIMINARY PLAN

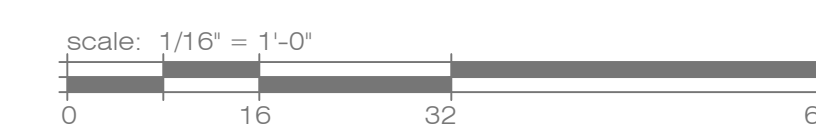


LEGEND			
	RESIDENTIAL UNITS		PROPOSED TRANSFORMER
	LIVE / WORK		EXISTING FIRE HYDRANT
	UTILITY AREA		ACCESSIBLE ROUTE
	COLORED STAMPED CONCRETE DRIVE		ADAPTABLE UNITS AT GRADE LEVEL

1540 SUPERIOR AVE. LIVE / WORK - COSTA MESA, CA

CONCEPTUAL SITE PLAN

APPLICANT / OWNER
BERK CUSTOM HOMES, INC.



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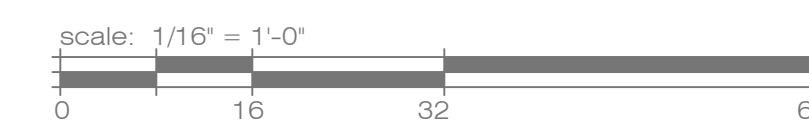
LEGEND

- RESIDENTIAL STAIR
- ROOF USED FOR MECHANICAL EQUIP.
- ROOF DECK / USABLE ROOF

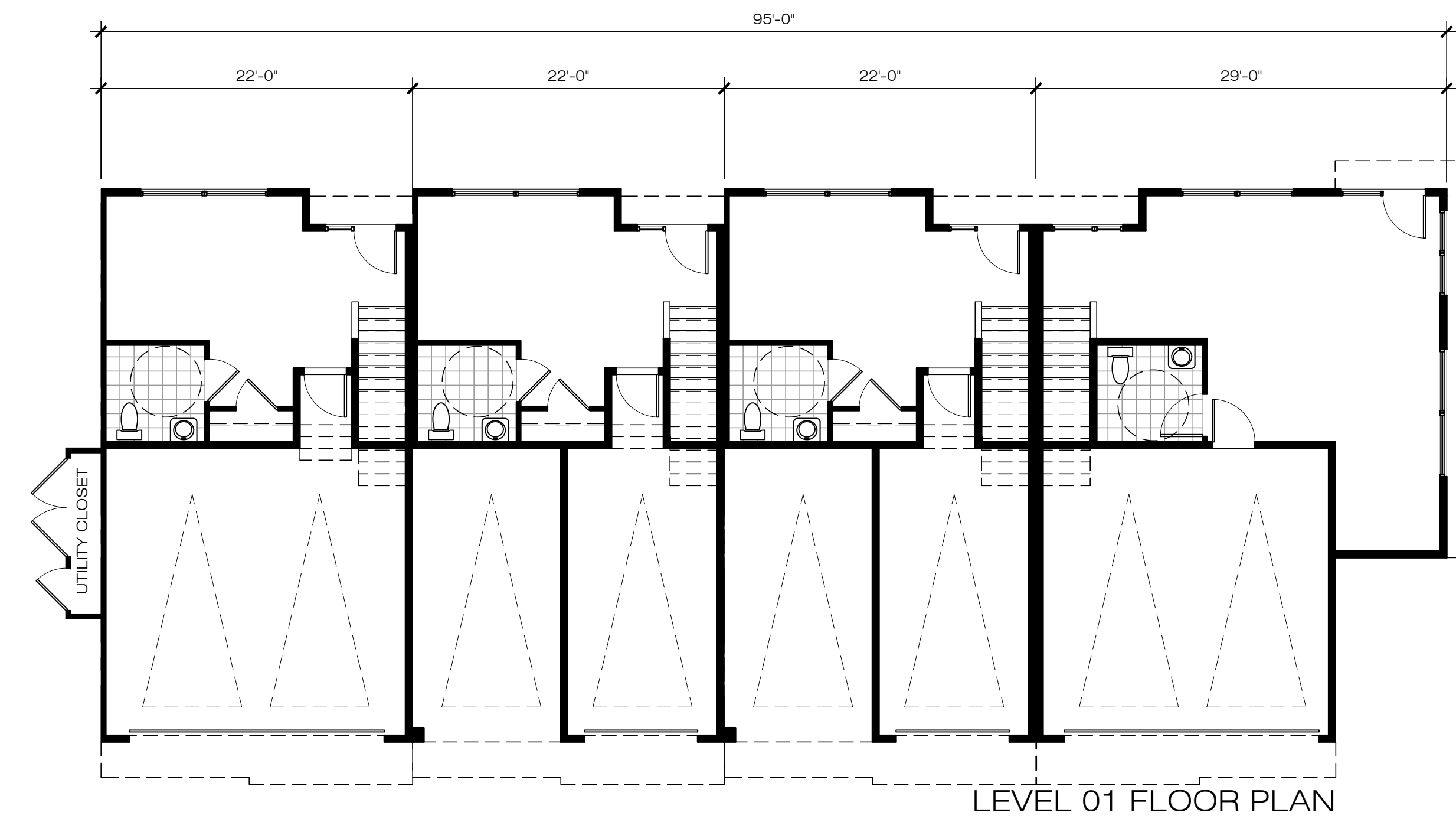
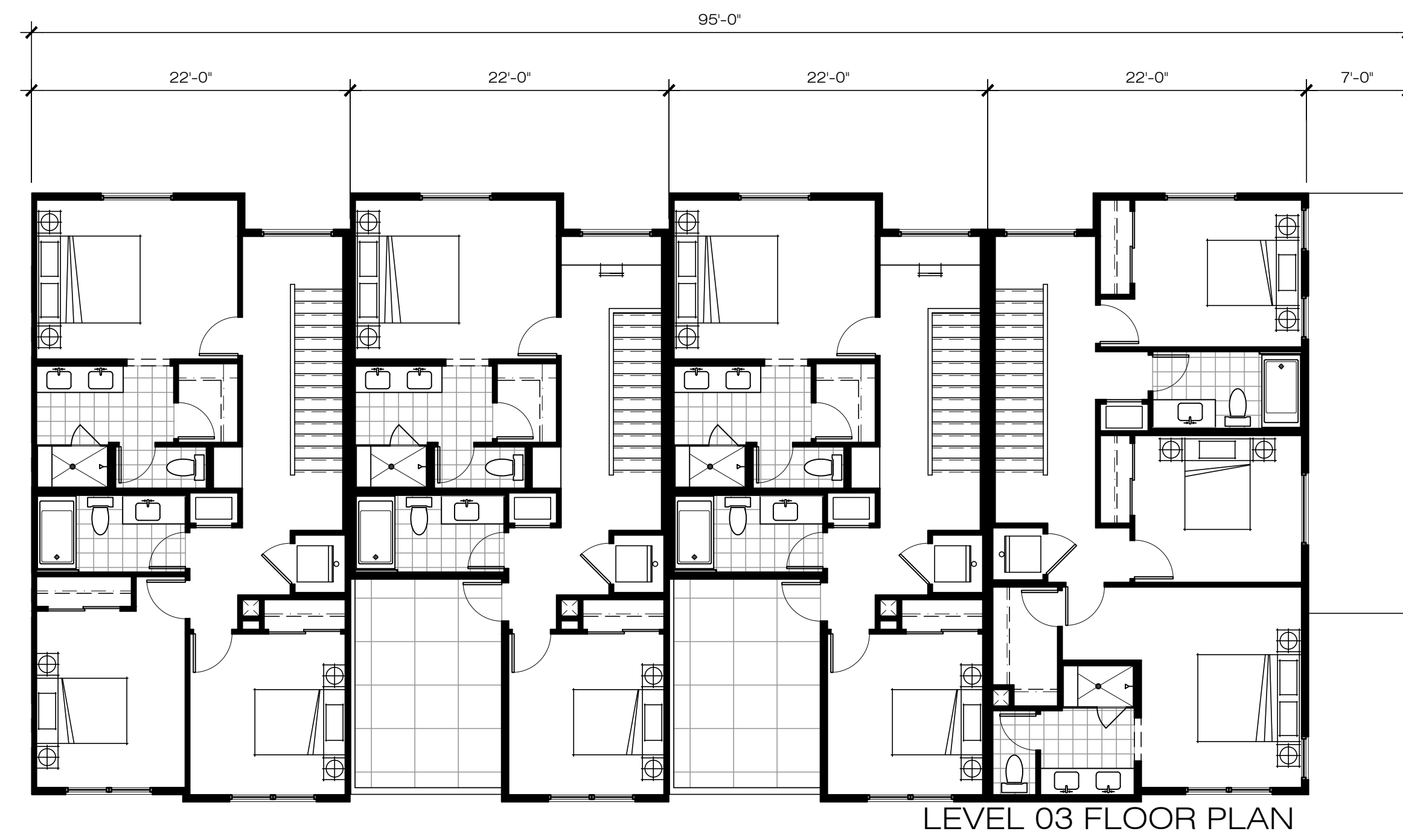
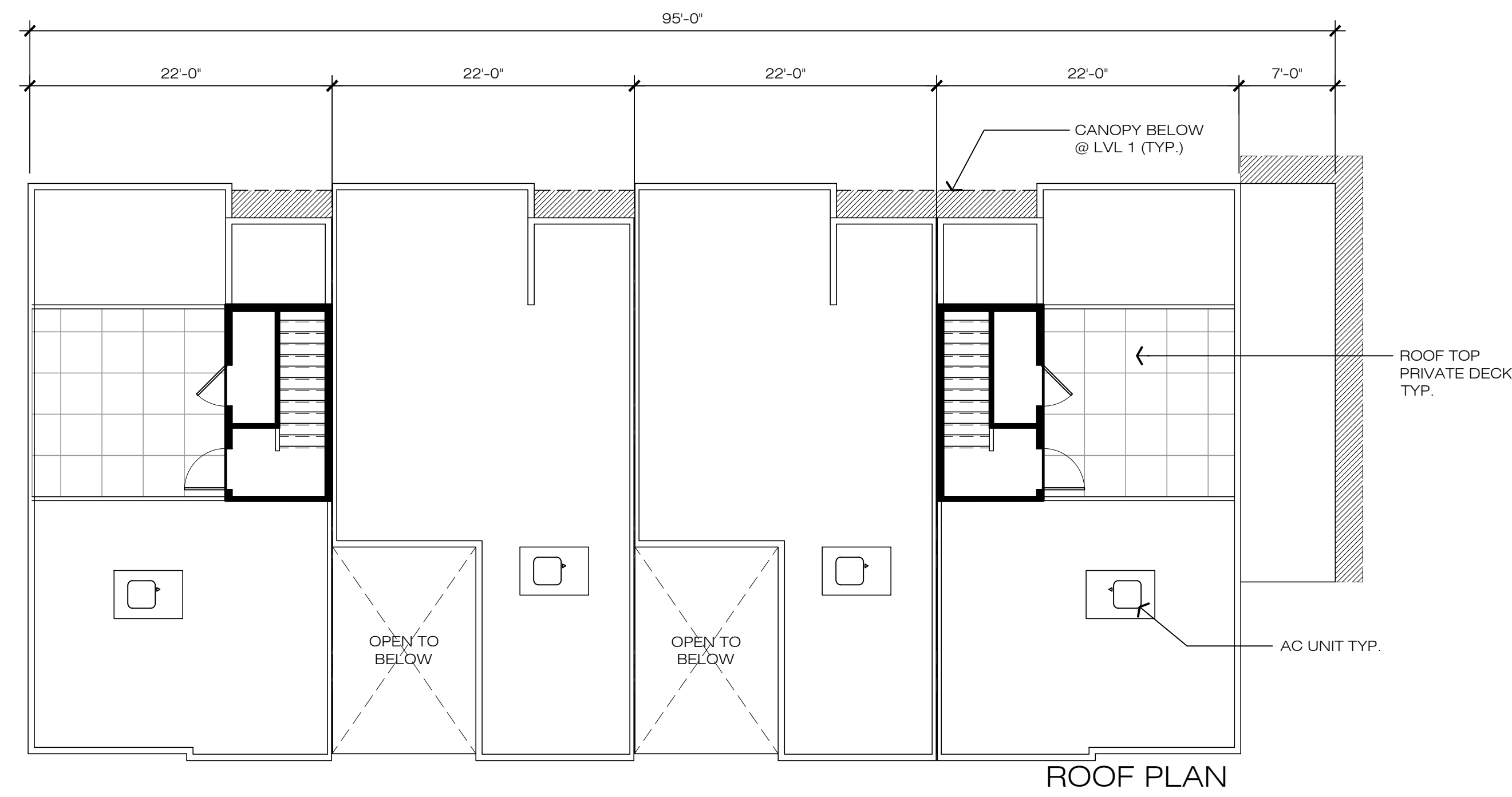
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BUILDING ROOF PLAN

APPLICANT / OWNER
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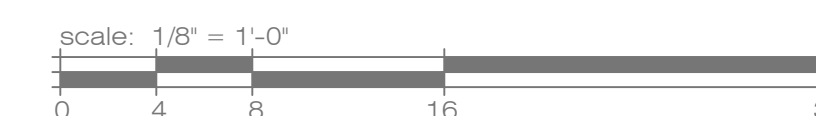
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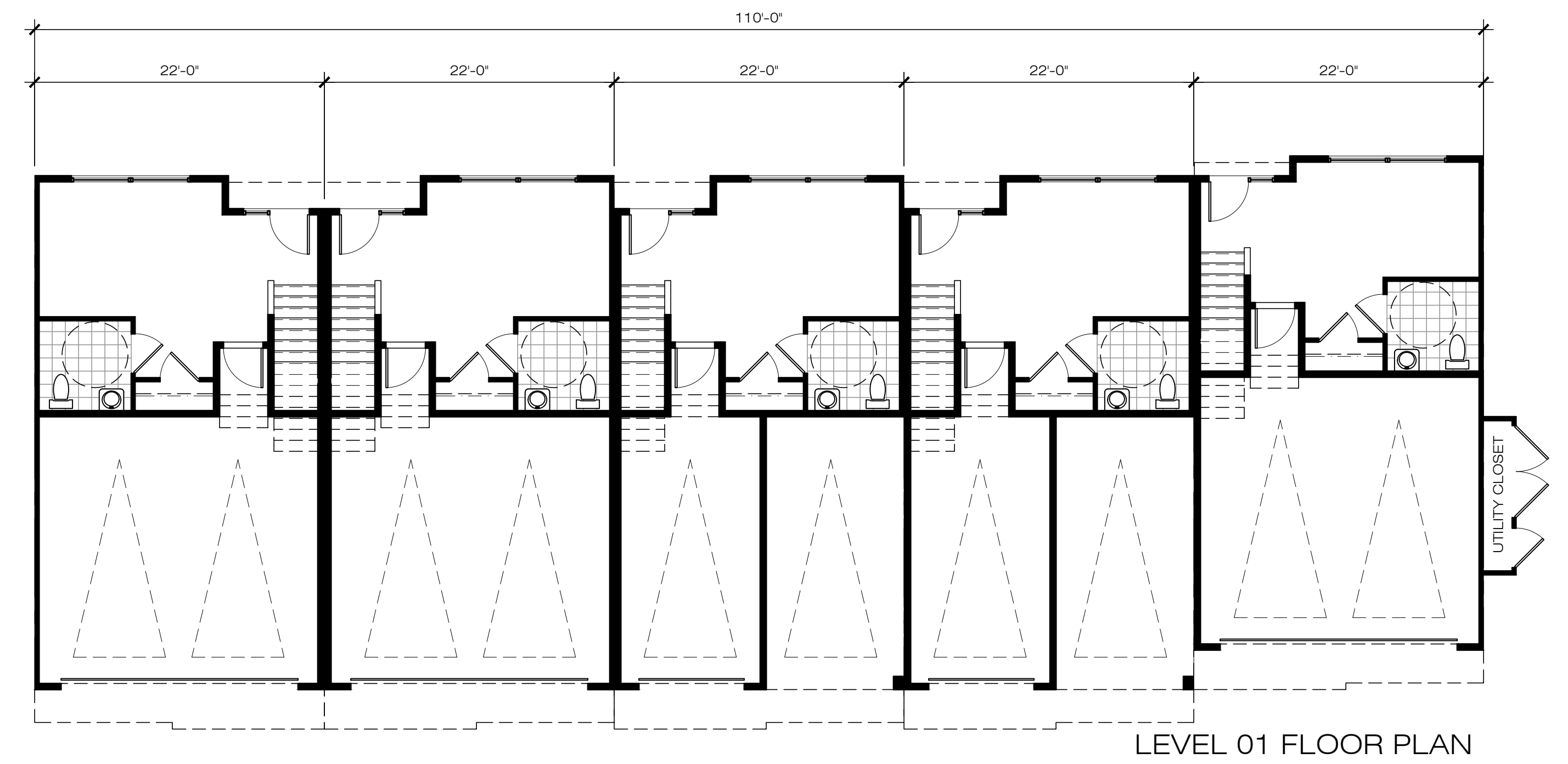
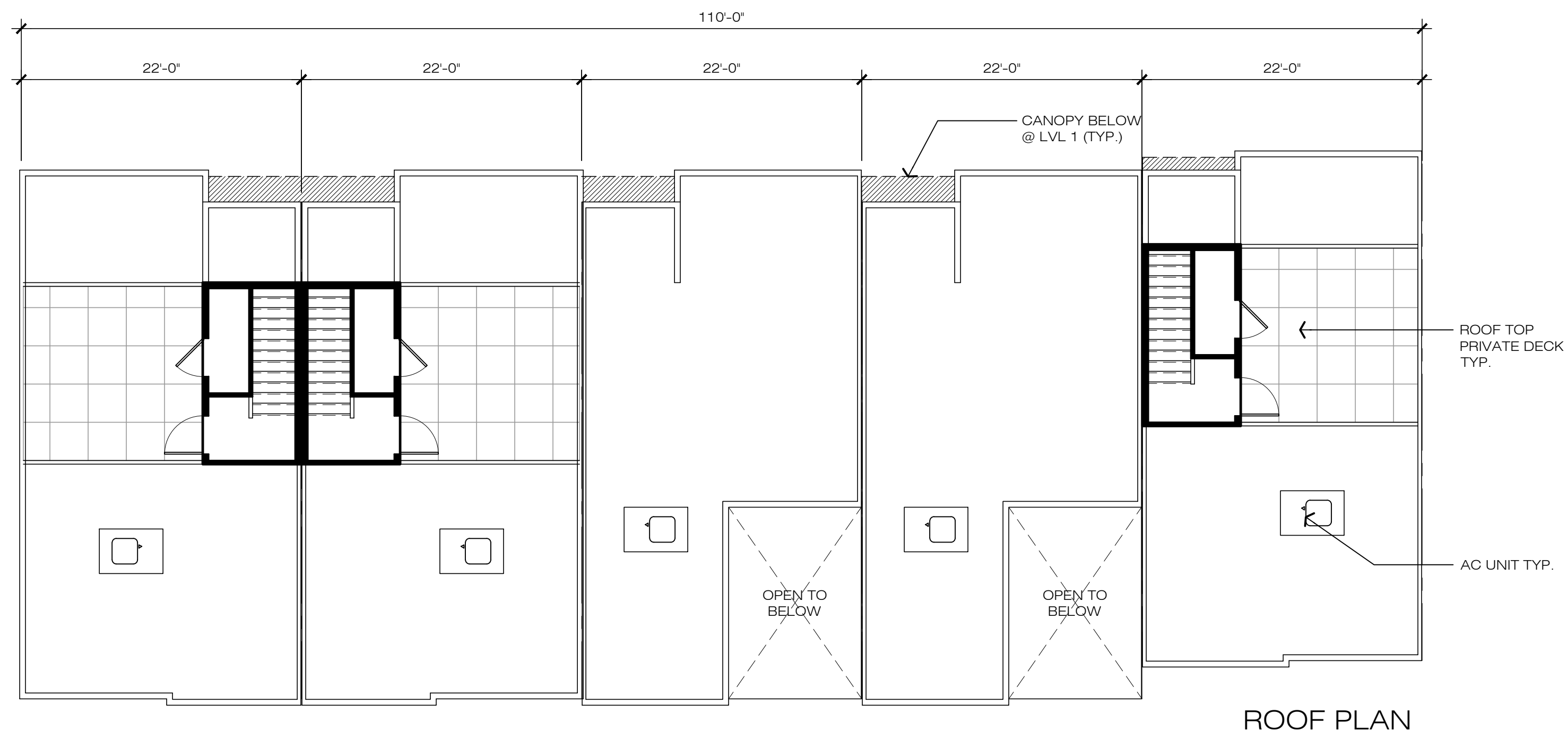
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COMPOSITE 4-PLEX BUILDING PLANS

APPLICANT / OWNER
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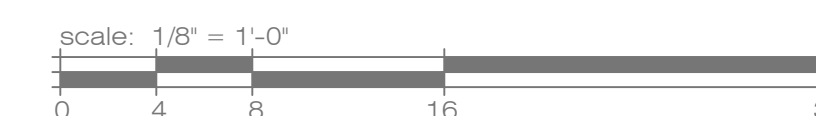
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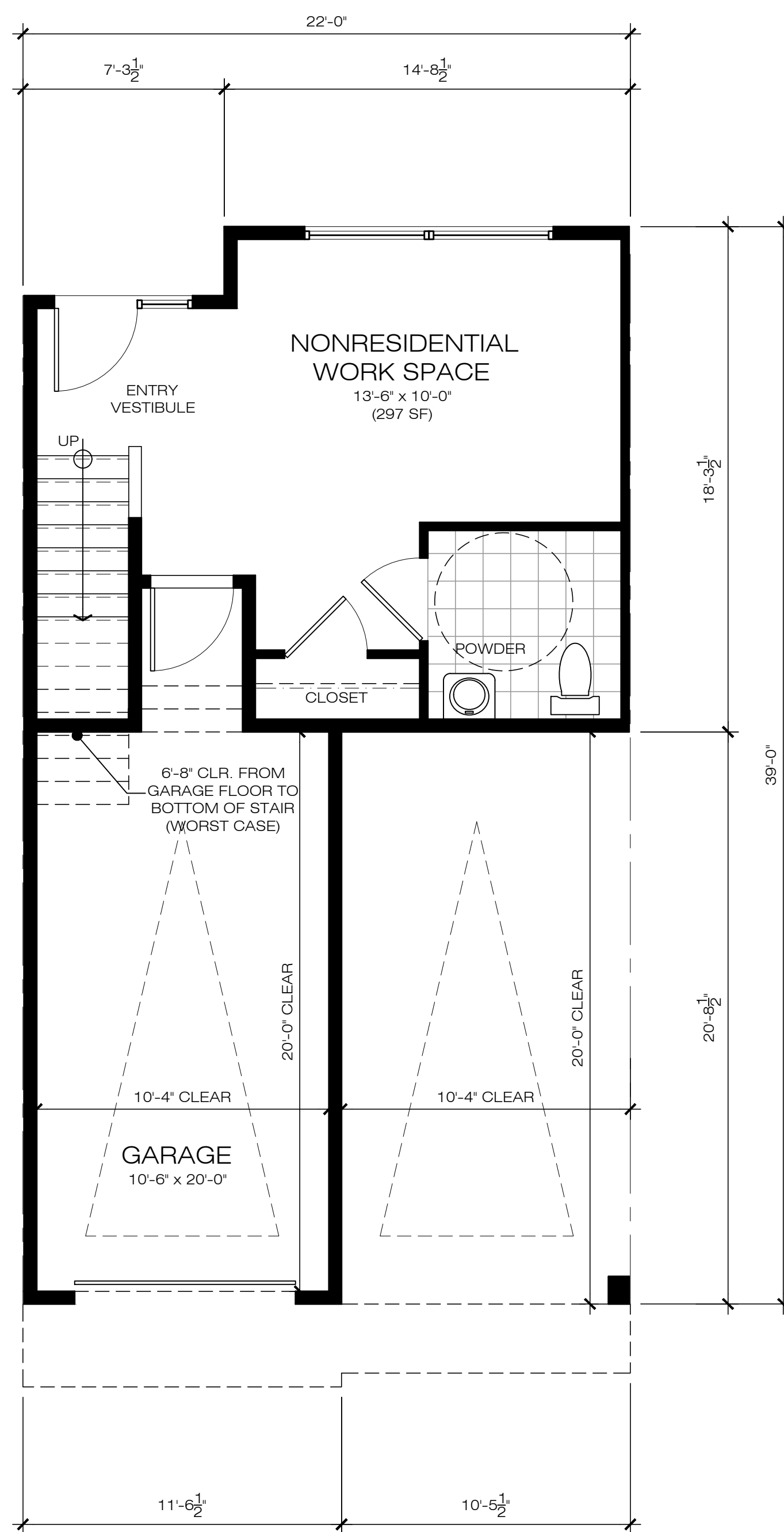
1540 SUPERIOR AVE. LIVE / WORK - COSTA MESA, CA

COMPOSITE 5-PLEX BUILDING PLANS

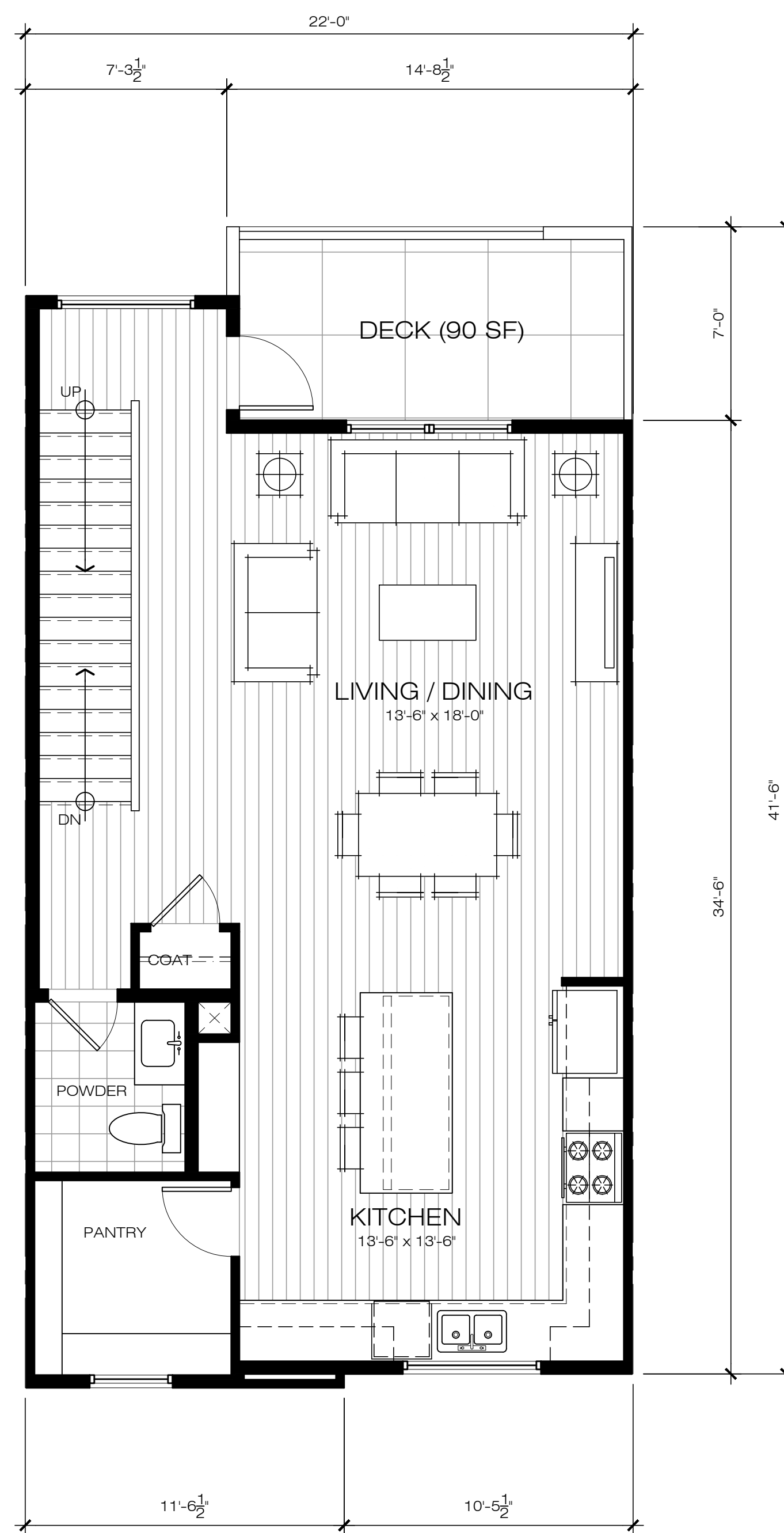
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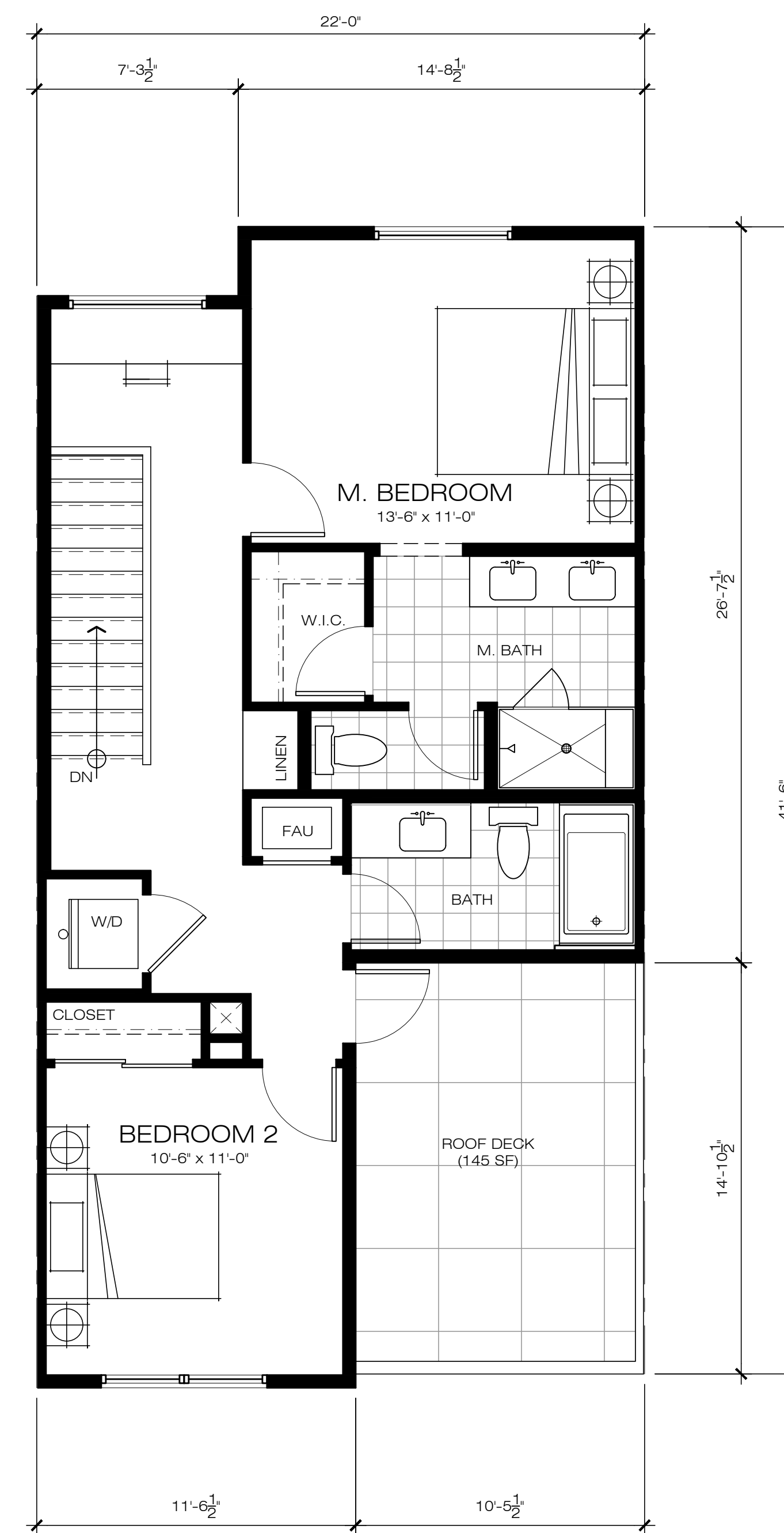
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FIRST FLOOR
GROSS SF = 297 S.F.
LIVABLE SF = 272 S.F.



SECOND FLOOR
GROSS SF = 634 S.F.
LIVABLE SF = 597 S.F.



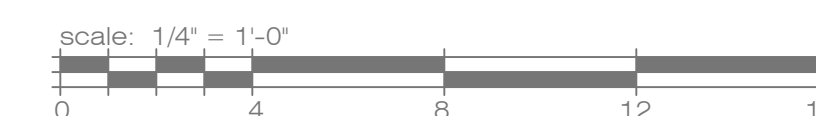
THIRD FLOOR
GROSS SF = 681 S.F.
LIVABLE SF = 637 S.F.

TH UNIT TYPE A1	
2 BEDROOM + 2 & 2(1/2) BATH	
GROSS UNIT SF = 1,612 S.F.	
LIVABLE UNIT SF = 1,506 S.F.	
DECK AREA = 90 S.F. / ROOF DECK = 145 S.F.	
4 UNITS	

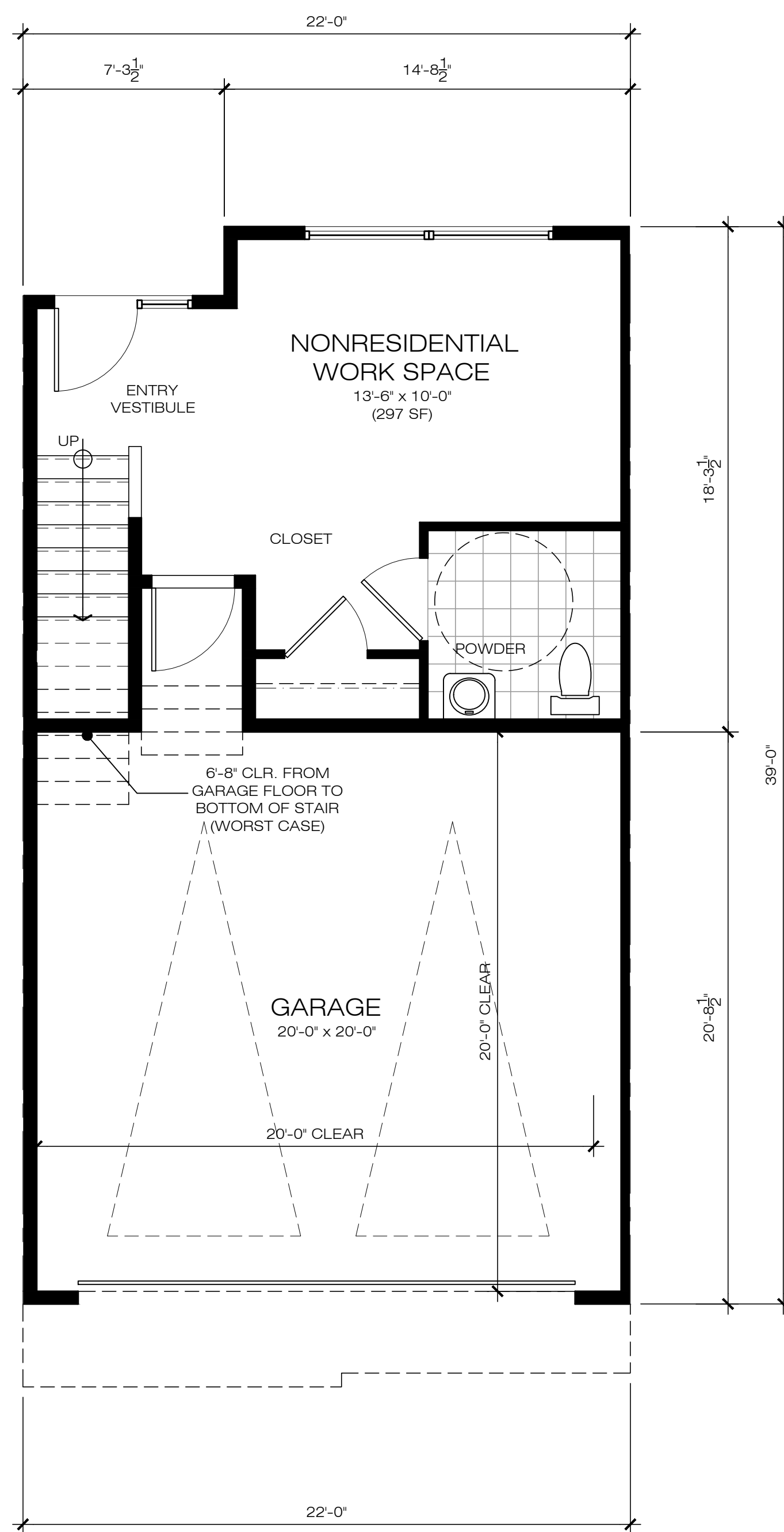
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UNIT PLAN - TOWNHOME

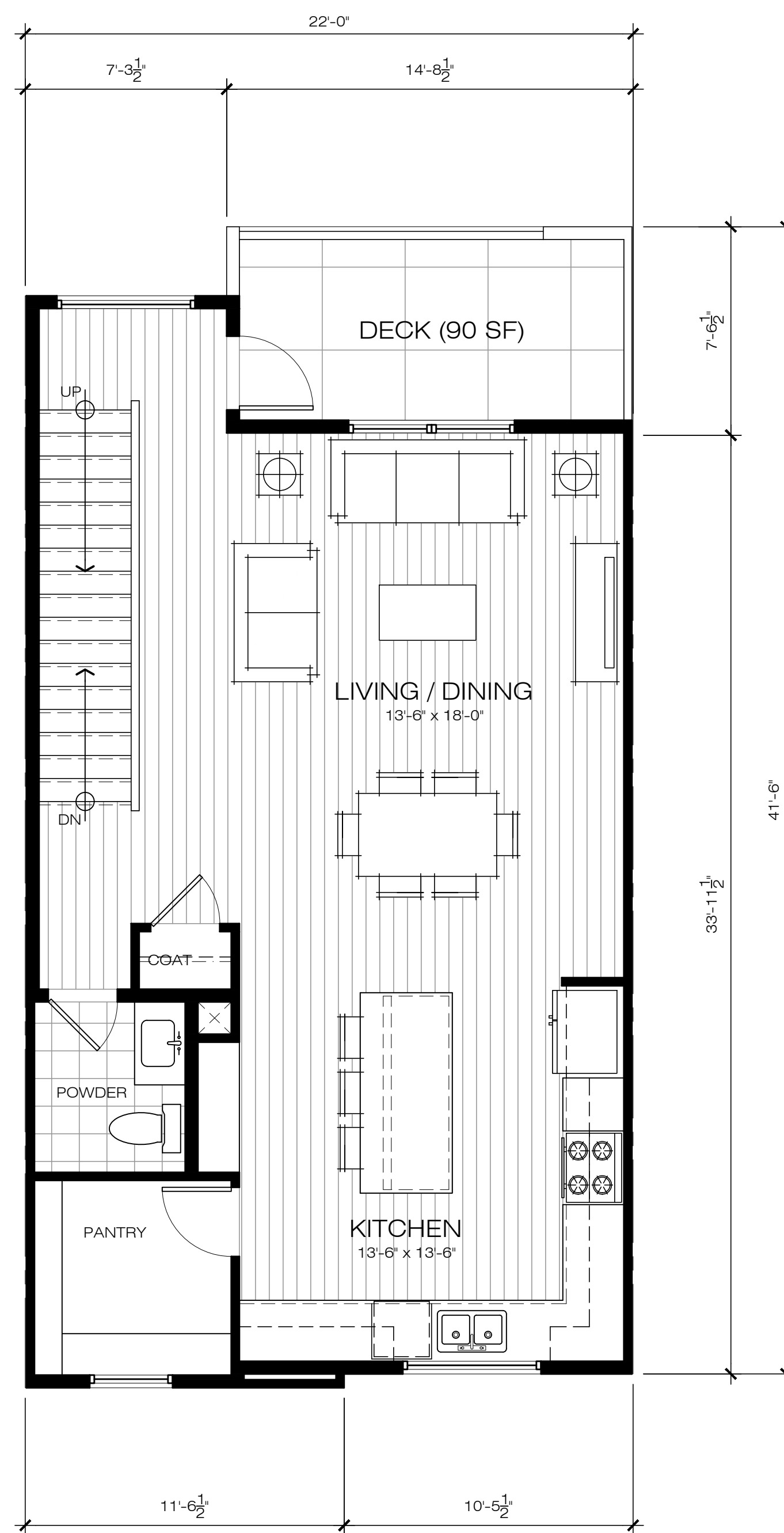
APPLICANT / OWNER
BERK CUSTOM HOMES, INC.



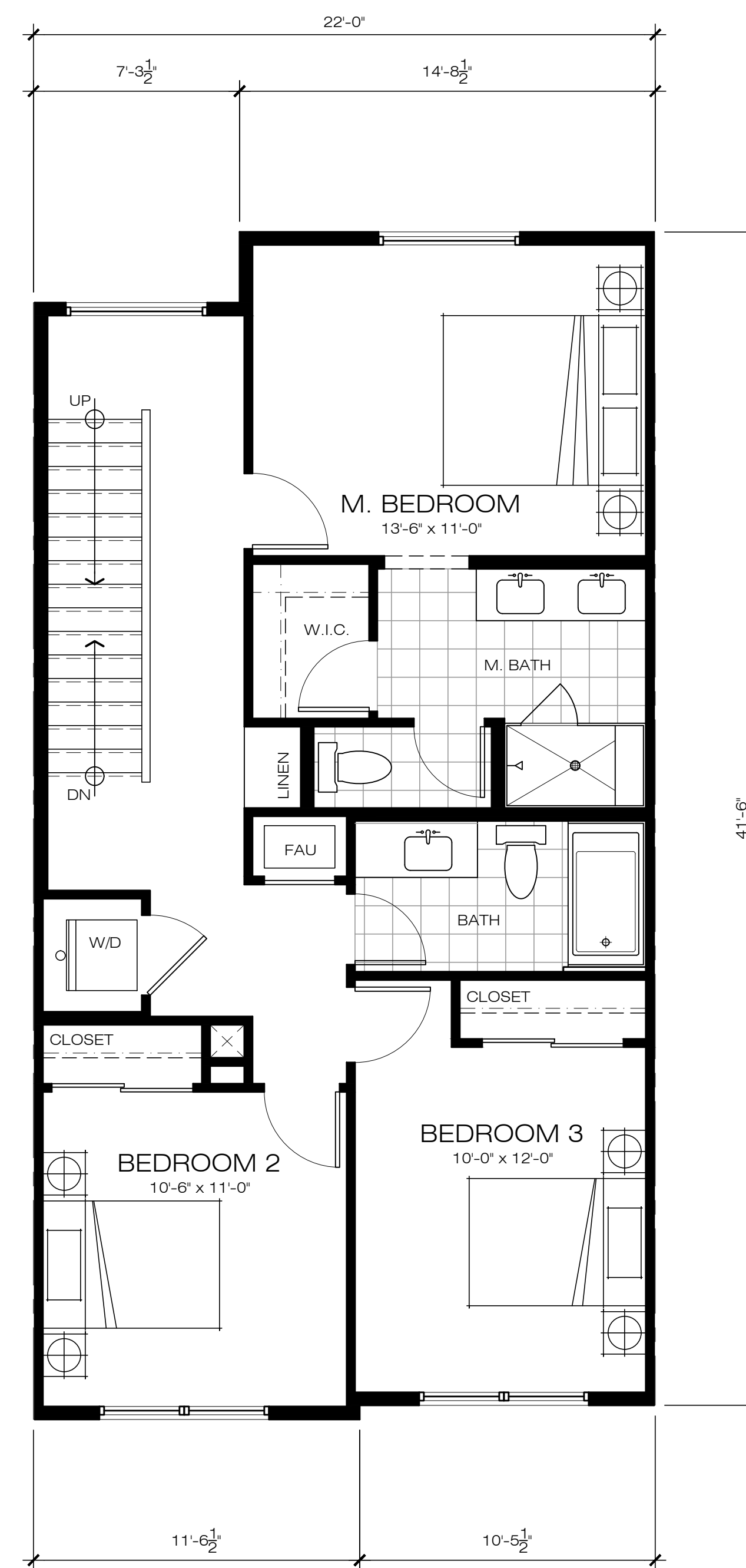
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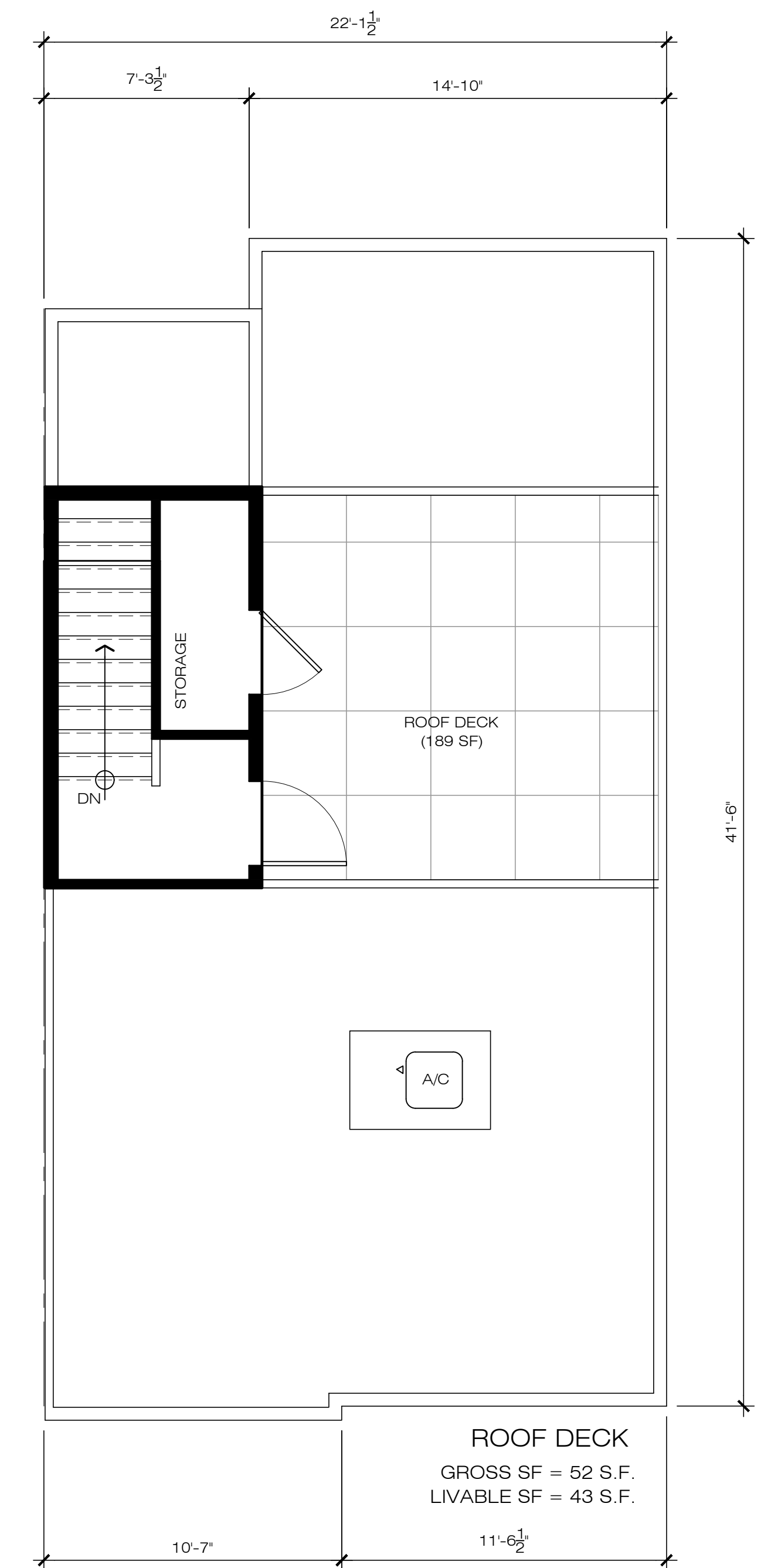
FIRST FLOOR
GROSS SF = 297 S.F.
LIVABLE SF = 272 S.F.



SECOND FLOOR
GROSS SF = 634 S.F.
LIVABLE SF = 597 S.F.



THIRD FLOOR
GROSS SF = 746 S.F.
LIVABLE SF = 708 S.F.

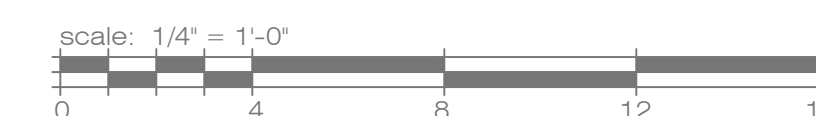


TH UNIT TYPE A2	
3 BEDROOM + 2 & 2(1/2) BATH	
GROSS UNIT SF = 1,729 S.F.	
LIVABLE UNIT SF = 1,620 S.F.	
DECK AREA = 90 S.F. / ROOF DECK = 189 S.F.	
4 UNITS	

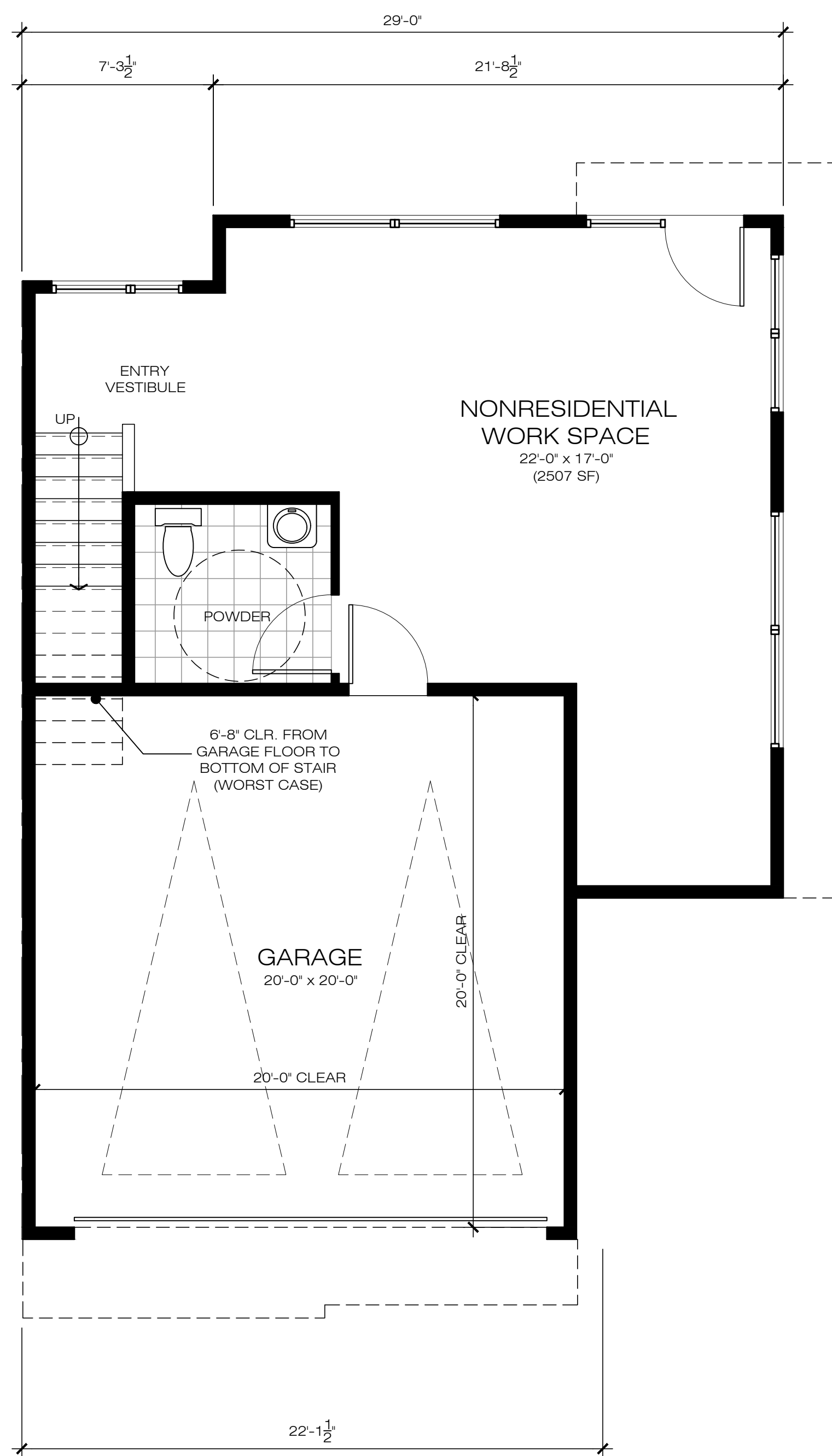
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UNIT PLAN - TOWNHOME

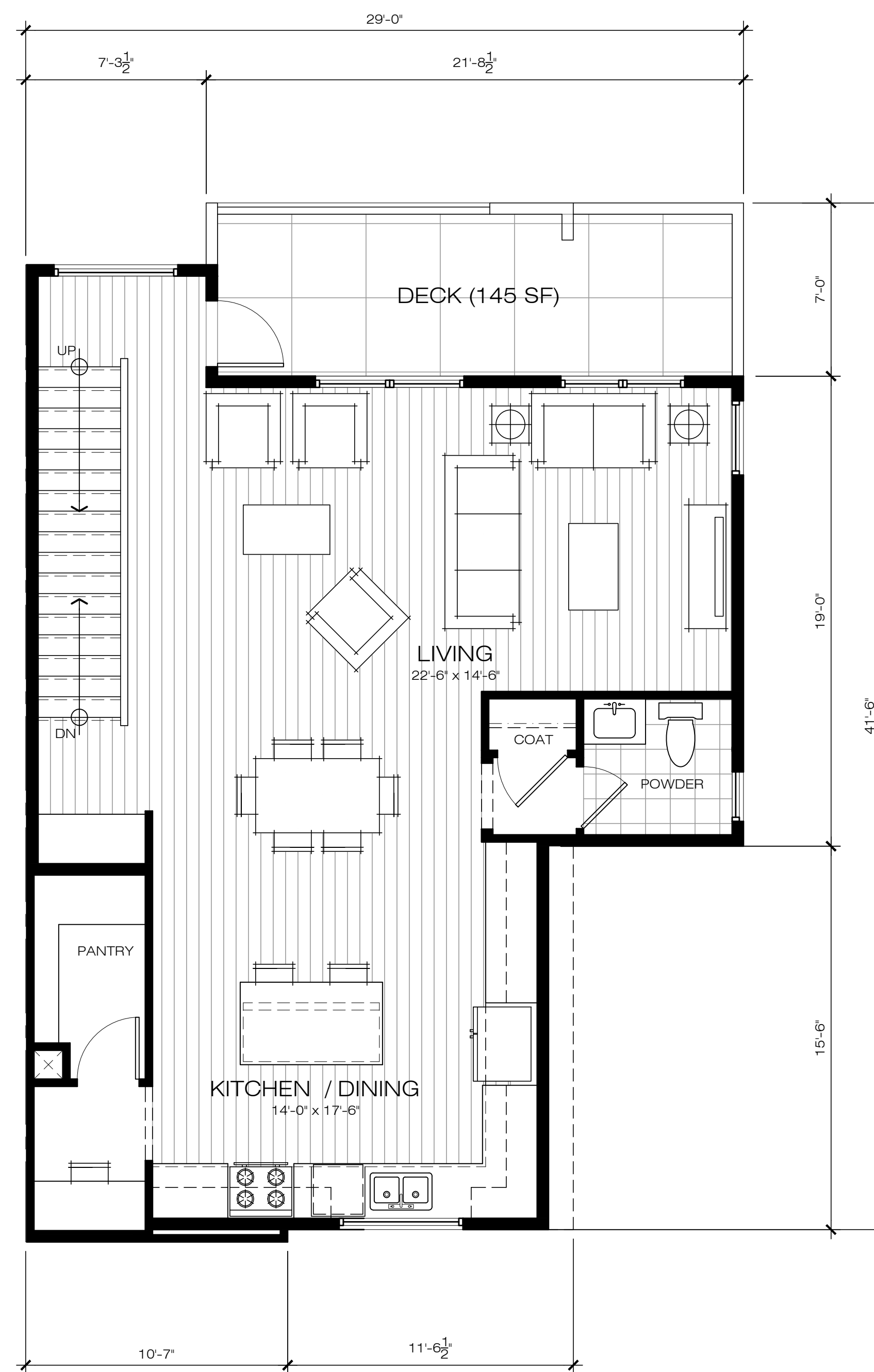
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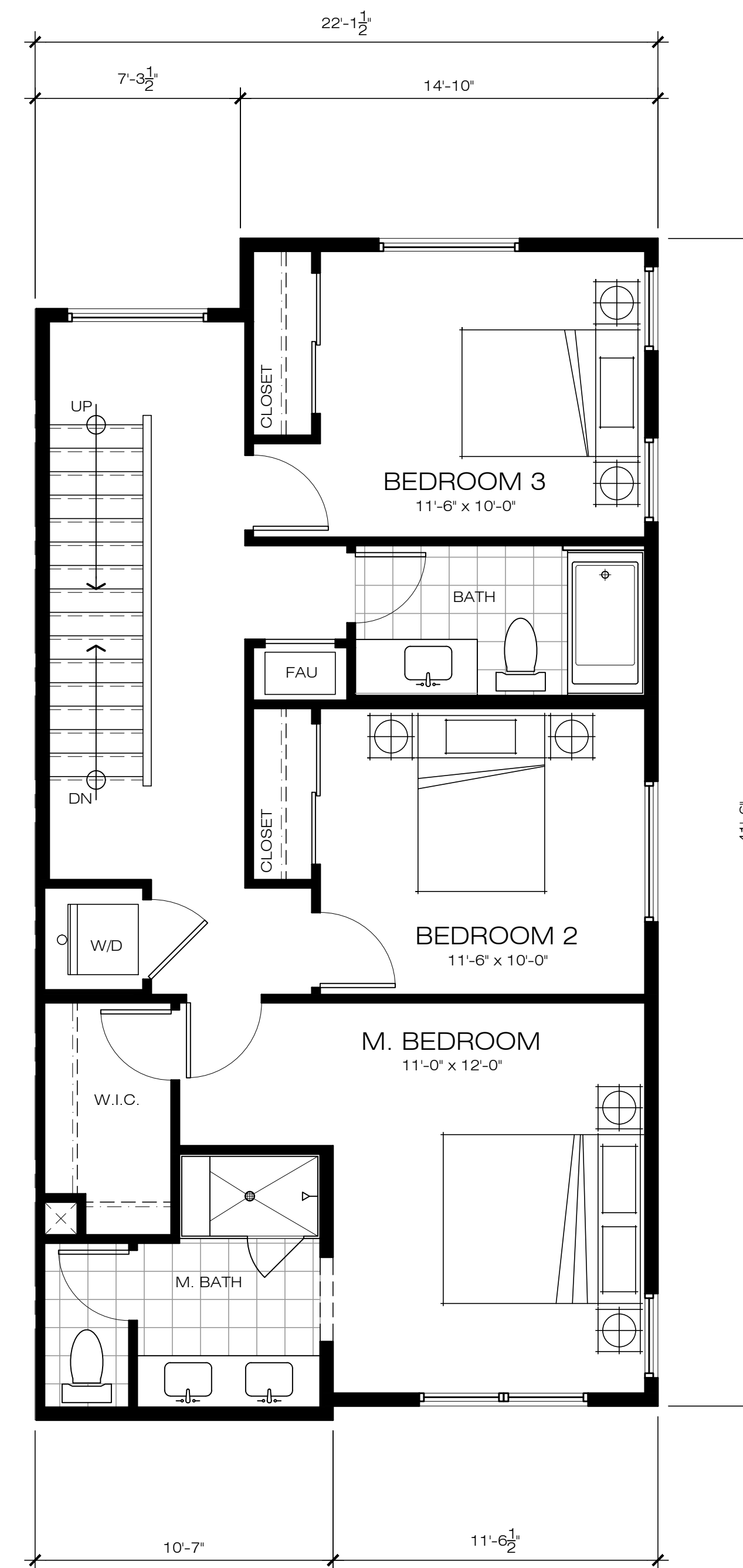
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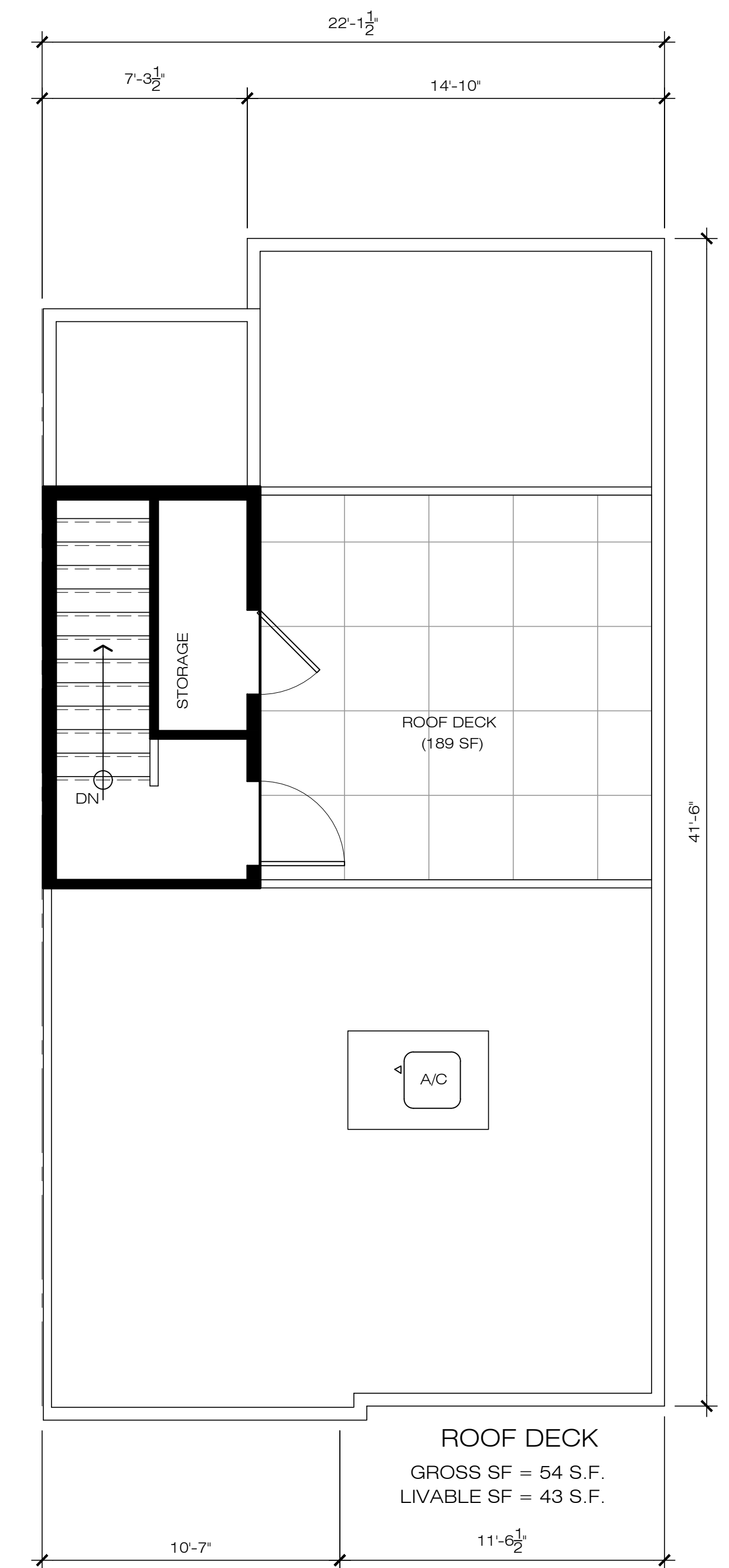
FIRST FLOOR
GROSS SF = 507 S.F.
LIVABLE SF = 469 S.F.



SECOND FLOOR
GROSS SF = 757 S.F.
LIVABLE SF = 707 S.F.



THIRD FLOOR
GROSS SF = 754 S.F.
LIVABLE SF = 711 S.F.



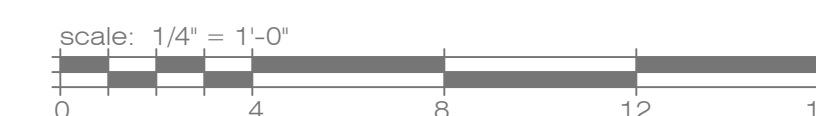
ROOF DECK
GROSS SF = 54 S.F.
LIVABLE SF = 43 S.F.

TH UNIT TYPE A3	
3 BEDROOM + 2 & 2(1/2) BATH	
GROSS UNIT SF = 2,072 S.F.	
LIVABLE UNIT SF = 1,930 S.F.	
DECK AREA = 145 S.F. / ROOF DECK = 189 S.F.	
1 UNITS	

1540 SUPERIOR AVE. LIVE / WORK - COSTA MESA, CA

UNIT PLAN - TOWNHOME

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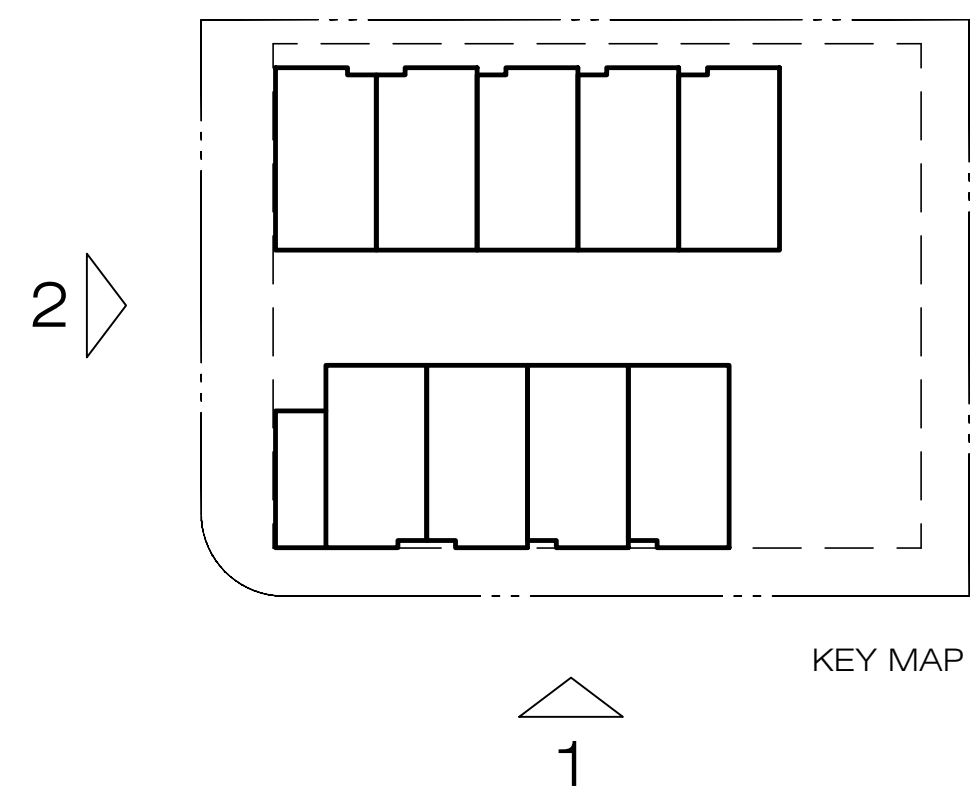
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CONCEPTUAL IMAGERY

APPLICANT / OWNER
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1. (INDUSTRIAL WAY) SIDE ELEVATION

MATERIAL LEGEND

- ① EXTERIOR CEMENT STUCCO COLOR 1
- ② EXTERIOR CEMENT STUCCO COLOR 2
- ③ SYNTHETIC EXTERIOR BOARD
- ④ SYNTHETIC CEMENT BOARD
- ⑤ EXTERIOR VENEER FINISH
- ⑥ DUAL GLAZED VINYL WINDOWS WHITE COLORED FRAME
- ⑦ PAINTED METAL GUARD RAIL
- ⑧ GLASS GUARD RAIL
- ⑨ METAL CANOPY
- ⑩ SCREED LINE
- ⑪ PAINTED EXTERIOR METAL DOOR
- ⑫ GARAGE DOOR

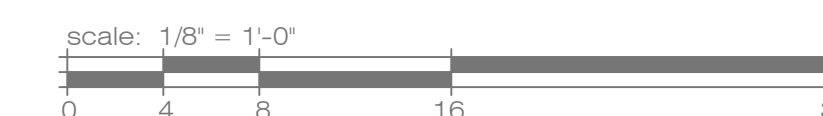


2. (SUPERIOR AVE.) FRONT ELEVATION

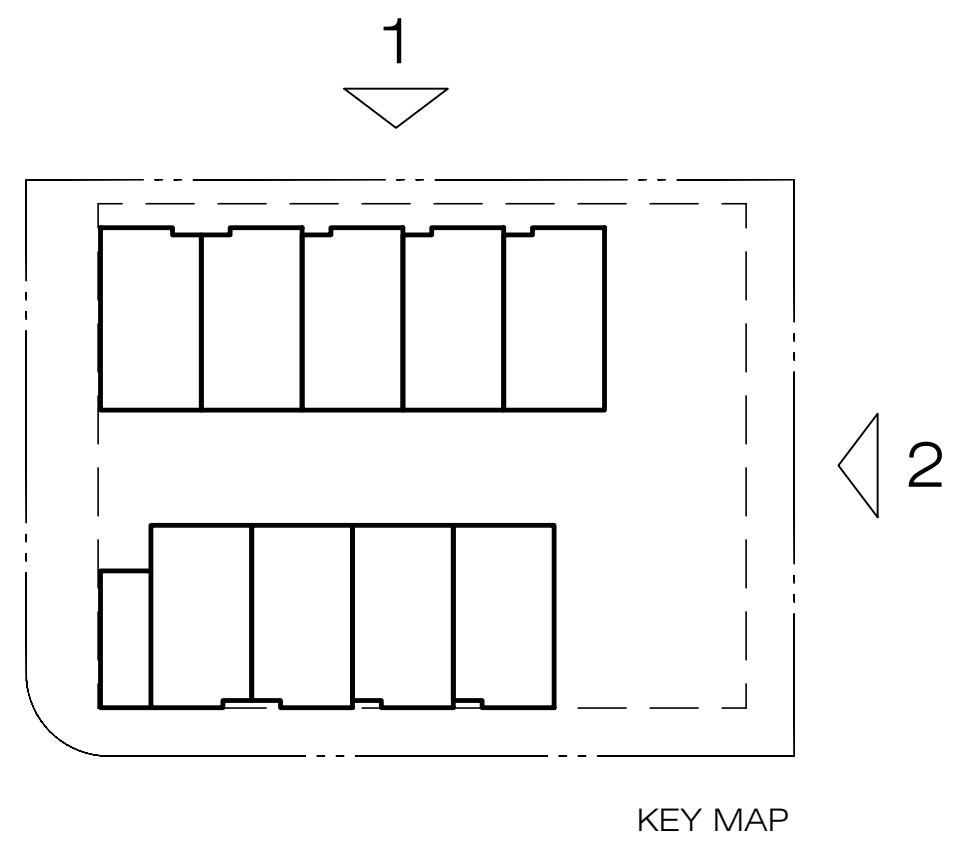
1540 SUPERIOR AVE. LIVE / WORK - COSTA MESA, CA

BUILDING ELEVATIONS

APPLICANT / OWNER
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1. (NORTH) SIDE ELEVATION

MATERIAL LEGEND

- ① EXTERIOR CEMENT STUCCO COLOR 1
- ② EXTERIOR CEMENT STUCCO COLOR 2
- ③ SYNTHETIC EXTERIOR BOARD
- ④ SYNTHETIC CEMENT BOARD
- ⑤ EXTERIOR VENEER FINISH
- ⑥ DUAL GLAZED VINYL WINDOWS WHITE COLORED FRAME
- ⑦ PAINTED METAL GUARD RAIL
- ⑧ GLASS GUARD RAIL
- ⑨ METAL CANOPY
- ⑩ SCREED LINE
- ⑪ PAINTED EXTERIOR METAL DOOR
- ⑫ GARAGE DOOR

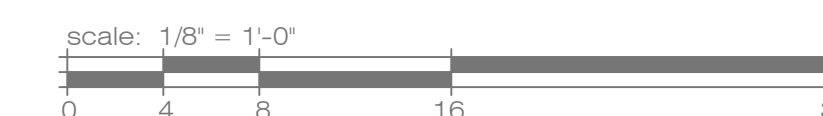


2. (EAST) FRONT ELEVATION

1540 SUPERIOR AVE. LIVE / WORK - COSTA MESA, CA

BUILDING ELEVATIONS

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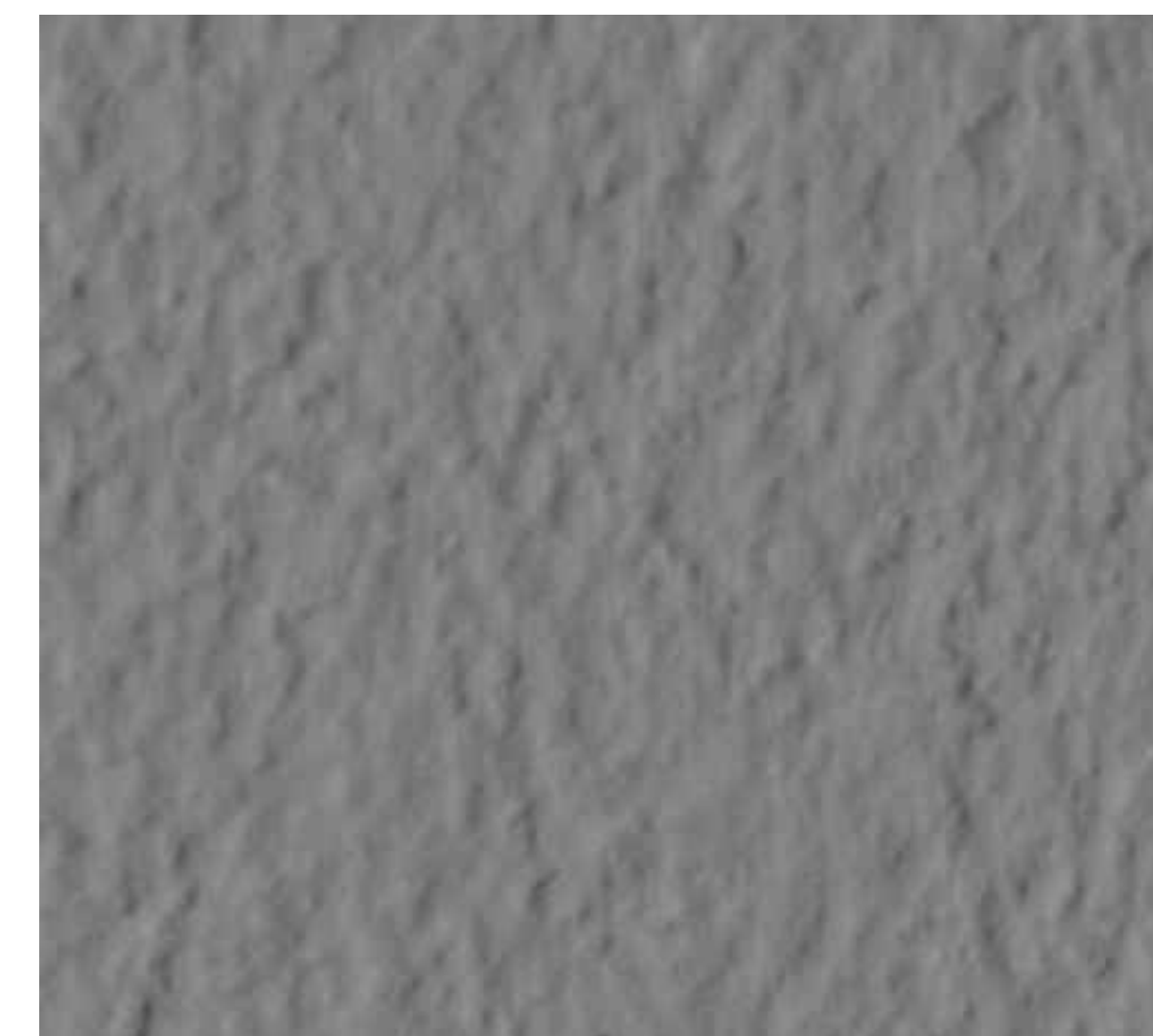
1 EXTERIOR VENEER



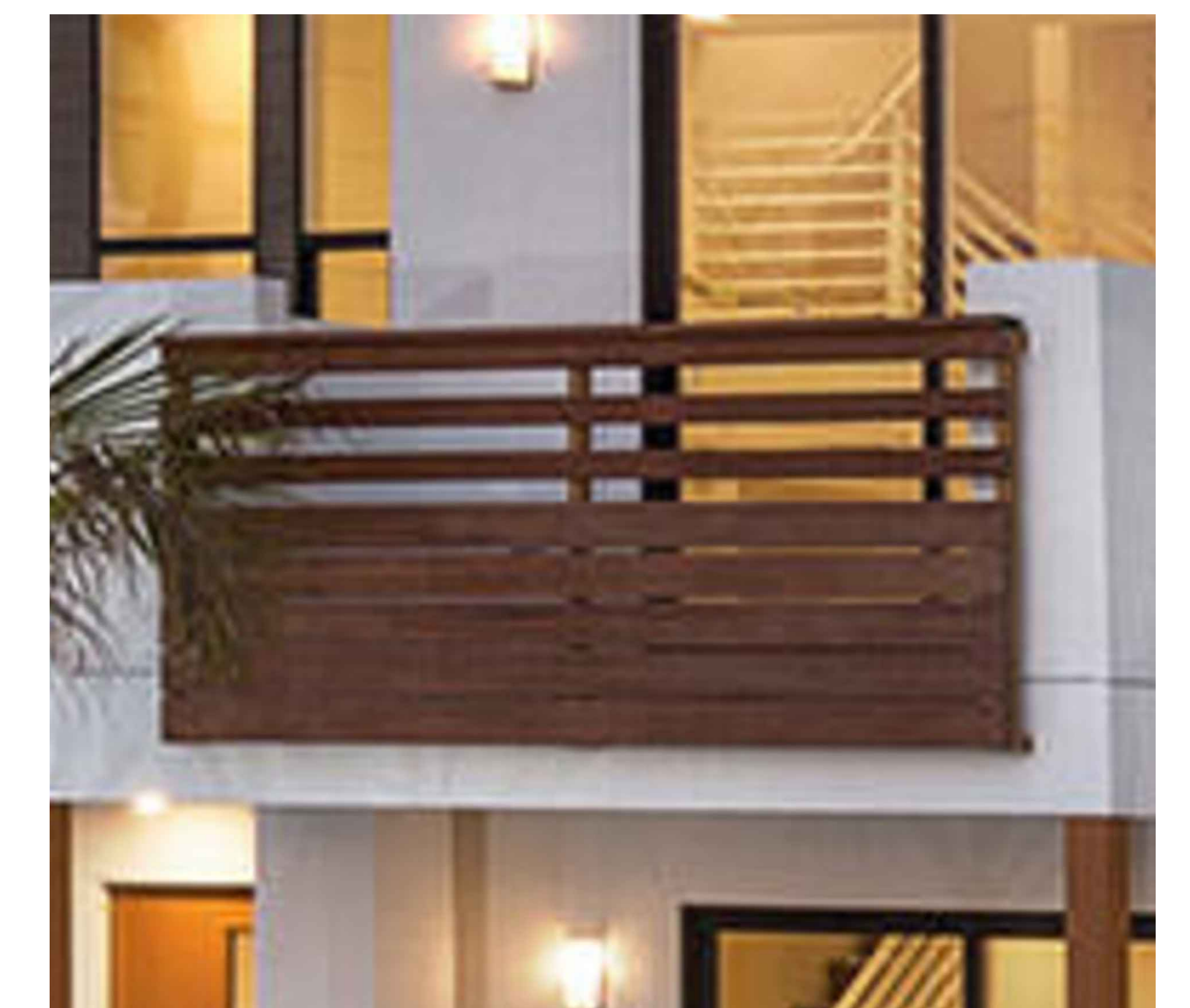
2 STUCCO



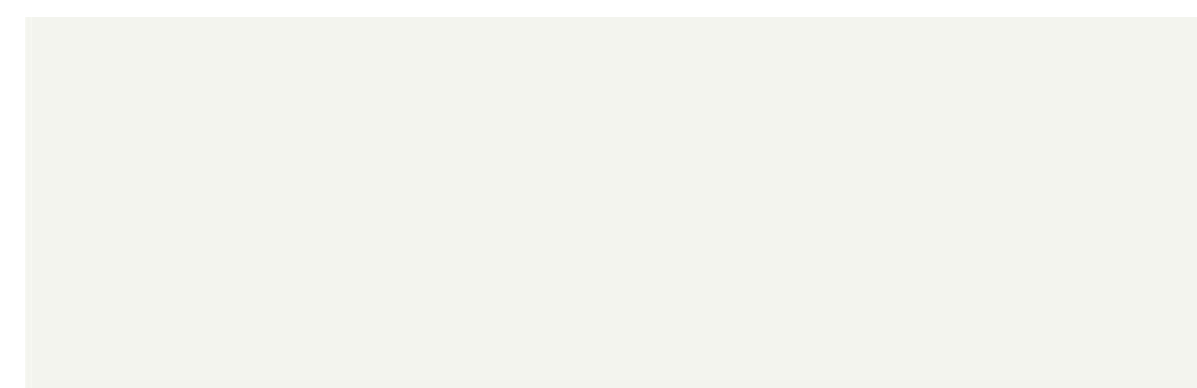
3 HORIZONTAL SYNTHETIC BOARD
JAMES HARDIE OR SIMILAR



4 VERTICAL CEMENT BOARD
JAMES HARDIE OR SIMILAR



5 COMPOSITE MATERIAL BOARDS
TREX OR SIMILAR
USED FOR GUARDRAIL AND CLADDING



A SHERWIN WILLIAM - 9541
WHITE SNOW



B SHERWIN WILLIAM - 7647
CRUSHED ICE



C SHERWIN WILLIAM - 9684
AZULE



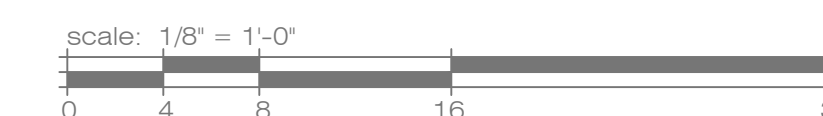
D SHERWIN WILLIAM - 2817
ROCKWOOD AMBER



E SHERWIN WILLIAM - 2803
ROCKWOOD TERRA COTTA

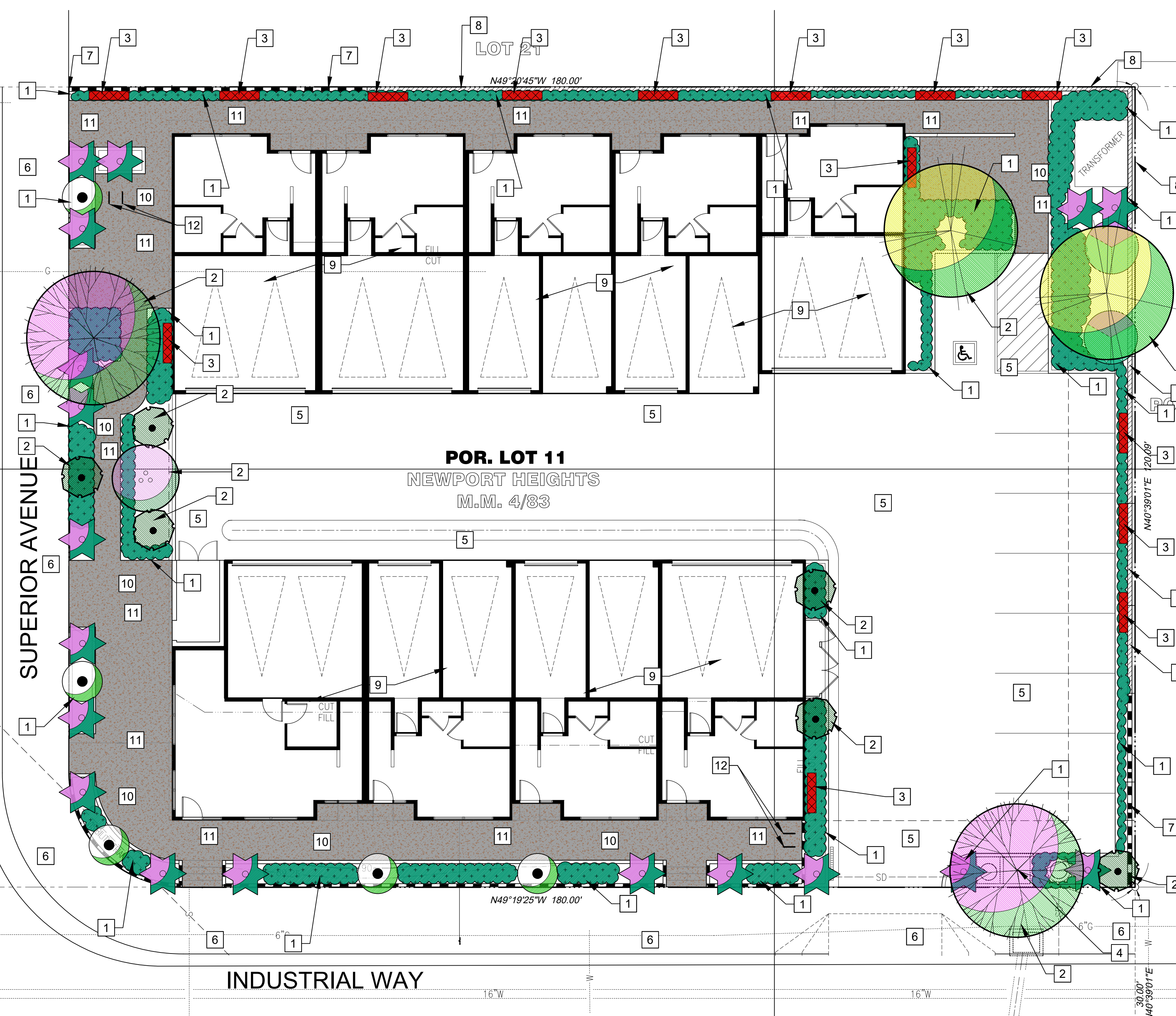
1540 SUPERIOR AVE. LIVE / WORK - COSTA MESA, CA

APPLICANT / OWNER
BERK CUSTOM HOMES, INC.



MATERIAL BOARD

WITHEE MALCOLM ARCHITECTS
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JOB: C1049
PRINTED: June 27, 2023



PRELIMINARY LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	HYDROZONE (WATER USE - HYDROZONE #)	REMARKS	INSTALLED SIZE (HEIGHT X WIDTH)	MATURE SIZE (HEIGHT X WIDTH)
DROUGHT TOLERANT TREES								
	PARKINSONIA x 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24" BOX	2	L-1	STANDARD THORNLESS FLOWERING DECIDUOUS ACCENT	7'-9" H X 3'-5" W	20'-30" H X 20'-25" W
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	2	L-1	STANDARD NATIVE FLOWERING DECIDUOUS ACCENT	9'-11" H X 4'-5" W	10'-20" H X 10'-20" W
	CHILOPSIS LINEARIS	DESERT WILLOW	24" BOX	1	L-1	MULTI NATIVE FLOWERING DECIDUOUS ACCENT	3'-4" H X 3'-4" W	15'-30" H X 10'-20" W
	CUPRESSUS SEMPERVIRENS 'GLAUCA'	ITALIAN CYPRESS	15 GALLON	6	L-1	COLUMNAR ACCENT / EVERGREEN SCREEN	6'-7" H X 1'-2" W	60' H X 5'-10" W
DROUGHT TOLERANT SHRUBS, ORNAMENTAL GRASSES, SUCCULENTS, AND GROUND COVERS								
	ECHINOPS CANDICANS	PRIDE OF MADEIRA	5 GAL. @ 8" O.C.	2	L-2	FLOWERING EVERGREEN SHRUB	6'-8" H X 8'-10" W	
	CARPENTERIA CALIFORNICA	BUSH ANEMONE 'ELIZABETH'	5 GAL. @ 6" O.C.	5	L-2	NATIVE FLOWERING EVERGREEN SHRUB	8" H X 5'-6" W	
	SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL. @ 5" O.C.	18	L-2	NATIVE FLOWERING EVERGREEN SHRUB	3'-5" H X 4'-5" W	
	LEONOTIS LEONURUS	LIONS TAIL	5 GAL. @ 5" O.C.	1,171 S.F. (APPROX. 150 TOTAL)	L-2	FLOWERING EVERGREEN SHRUB	5'-6" H X 4'-5" W	
	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL. @ 2" O.C.			SUCCULENT ACCENT	18"-24" H X 18"-24" W	
	ALOE VERA	MEDICINAL ALOE	5 GAL. @ 2" O.C.			FLOWERING SUCCULENT	18"-24" H X 18"-24" W	
	BERBERIS REPENS	CREeping BARBERRY	5 GAL. @ 3" O.C.			NATIVE FLOWERING EVERGREEN SHRUB	18"-30" H X 2'-3" W	
	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL. @ 3" O.C.			NATIVE FLOWERING PERENNIAL	18"-30" H X 2'-3" W	
	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	1 GAL. @ 3" O.C.			FLOWERING PERENNIAL	2' H X 2'-3" W	
	ARISTIDA PURPUREA	PURPLE THREE-AWN	1 GAL. @ 2" O.C.			NATIVE CLUMPING ORNAMENTAL GRASS	18"-24" H X 18"-24" W	
	ERIGERON GLAUCUS	SEASIDE DAISY	1 GAL. @ 2" O.C.			NATIVE FLOWERING PERENNIAL	10"-12" H X 2' W	
	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL. @ 2" O.C.			NATIVE FLOWERING PERENNIAL	12"-18" H X 1'-2" W	
	SISYRINCHIUM BELLUM	WESTERN BLUE-EYED GRASS	1 GAL. @ 1" O.C.			NATIVE FLOWERING PERENNIAL	6"-12" H X 6"-12" W	
	BOUGAINVILLEA 'BARBARA KARST'	BARBARA KARST BOUGAINVILLEA	15 GAL.	14	L-3	FLOWERING EVERGREEN VINE ON STEEL CABLE TRELLIS - DIAMOND PATTERN	6' H X 6' W (TRELLIS)	
	DESCRIPTION PRELIMINARY PAVING		QUANTITY	REMARKS				
	NEW INTEGRAL COLOR CONCRETE WALKWAYS		2,740 S.F.	EXPOSED AGGREGATE INTEGRAL COLOR CONCRETE WITH HIGHLIGHT BANDS - COLORS TO BE SELECTED BY OWNER				
	SITE FURNISHINGS		QUANTITY	REMARKS				
	NEW METAL BIKE RACKS AT OPEN SPACE AREA		4	EQUIPMENT AND COLOR TO BE SELECTED BY OWNER				

PRELIMINARY KEYNOTES

- NEW NATIVE AND MEDITERRANEAN DROUGHT TOLERANT LANDSCAPE (1,973 S.F.) - SEE SHEET L-2 FOR PLANT PALETTE - SEE PLANTING LEGEND THIS SHEET
- NEW NATIVE AND MEDITERRANEAN DROUGHT TOLERANT TREES - 11 TOTAL (176 S.F.) - SEE SHEET L-2 FOR PLANT PALETTE - SEE PLANTING LEGEND THIS SHEET
- NEW DROUGHT TOLERANT VINES - 14 TOTAL (224 S.F.) - SEE SHEET L-2 FOR PLANT PALETTE - SEE PLANTING LEGEND THIS SHEET
- BIO-RETENTION PLANTER LOCATION - SEE CIVIL PLANS FOR REFERENCE
- NEW PAVING / HARDSCAPE BY OTHERS - SEE ARCHITECTURAL AND CIVIL PLANS FOR REFERENCE
- EXISTING PAVING / HARDSCAPE TO REMAIN
- NEW BLOCK WALL - SEE ARCHITECTURAL AND CIVIL PLANS FOR REFERENCE
- EXISTING BLOCK WALL - SEE ARCHITECTURAL AND CIVIL PLANS FOR REFERENCE
- PROPOSED BUILDINGS - SEE ARCHITECTURAL PLANS FOR REFERENCE
- NEW COMMON OPEN SPACE AREA
- NEW DECORATIVE PAVING - INTEGRAL COLOR CONCRETE - SEE PLANTING LEGEND THIS SHEET
- FOUR (4) NEW BIKE RACKS - EQUIPMENT TO BE SELECTED BY OWNER - COLOR TO BE SELECTED

ADDITIONAL LANDSCAPE NOTES:
 TOTAL SITE AREA: 19,149 S.F.
 TOTAL LANDSCAPE AREA: 1,973 S.F. (10.3% OF SITE AREA)
 TOTAL EXISTING LANDSCAPE AREA TO REMAIN: 0 S.F.
 TOTAL PROPOSED NEW LANDSCAPE AREA: 1,973 S.F.
 TOTAL EXISTING OPEN SPACE AREA: 0 S.F.
 TOTAL PROPOSED OPEN SPACE AREA (PRIVATE): 2,377 S.F.
 TOTAL PROPOSED OPEN SPACE AREA (COMMON): 5,171 S.F.
 PROPOSED NEW VINES: 11 WITHIN LIMIT OF WORK
 PROPOSED NEW TREES: 11 WITHIN LIMIT OF WORK
 PARKING SPACES PROVIDED: 28 TOTAL ON-SITE - 9 AT PARKINGLOT
 TOTAL BUILDING AREA: 7,700 S.F. (40% OF SITE AREA)
 TOTAL HARDSCAPE AREA: 9,461 S.F. (50% OF SITE AREA)
 TYPE OF CONSTRUCTION: NEW LANDSCAPE AT A NEW LIVE / WORK DEVELOPMENT SITE (WELO IS APPLICABLE)
 WATER: POTABLE WATER
 WATER PURVEYOR: CITY OF COSTA MESA

NOTE:
 I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE PRELIMINARY LANDSCAPE DESIGN PLAN. SEE PRELIMINARY WELO CALCULATIONS THIS SHEET.



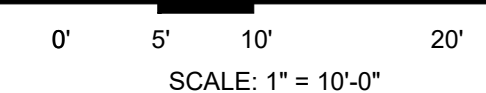
JDC
 Landscape Architects
 Planners

<p>TITLE 13, CHAPTER VII, LANDSCAPE STANDARDS - COMPLIANCE TABLE PER CODE 13-105, LANDSCAPING REQUIREMENTS REQUIRED: TWENTY-FIVE (25) SQUARE FEET OF LANDSCAPE PER PARKING SPACE PROVIDED TOTAL PARKING SPACES (ON-GRADE): NINE (9) TOTAL CODE REQUIRED TOTAL: 225 S.F. OF LANDSCAPE ADJACENT TO PARKING AREA TOTAL PROVIDED NEW LANDSCAPE AREAS AT PARKING LOT: 778 S.F. (CODE COMPLIANT)</p>	<p>PER CODE 13-106, REQUIRED LANDSCAPE REQUIREMENTS REQUIRED: ONE 15 GALLON OR LARGER TREE PER 200 S.F. OF LANDSCAPE AREA REQUIRED: 50% OF ALL TREES SHALL BE EVERGREEN REQUIRED: 25% OF THE REQUIRED TREES SHALL BE 24" BOX OR LARGER REQUIRED: 1 TREE PER SIX PARKING SPACES CODE REQUIRED TOTALS: 10 TREES WITH 5 EVERGREEN AND 3 AT 24" BOX SIZE TOTAL PROVIDED TREES: 11 TREES WITH 6 EVERGREEN AND 5 ARE 24" BOXES REQUIRED: ONE SHRUB PER 25 S.F. OF LANDSCAPE AREA (80 REQUIRED) TOTAL PROVIDED SHRUBS: 177 SHRUBS WITH 48 TOTAL 5 GALLONS INSTALLED (CODE COMPLIANT)</p>
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L-1 PRELIMINARY LANDSCAPE PLAN

COSTA MESA TOWNHOMES - 1540 SUPERIOR AVENUE, COSTA MESA, CA

DATE: 11/09/22



JON DAVID CICCHETTI
 140 LINDEN AVENUE, SUITE 286
 LONG BEACH, CA 90802
 562.989.1880
 CWCLANDARCH@EARTHLINK.NET

PRELIMINARY LANDSCAPE LEGEND

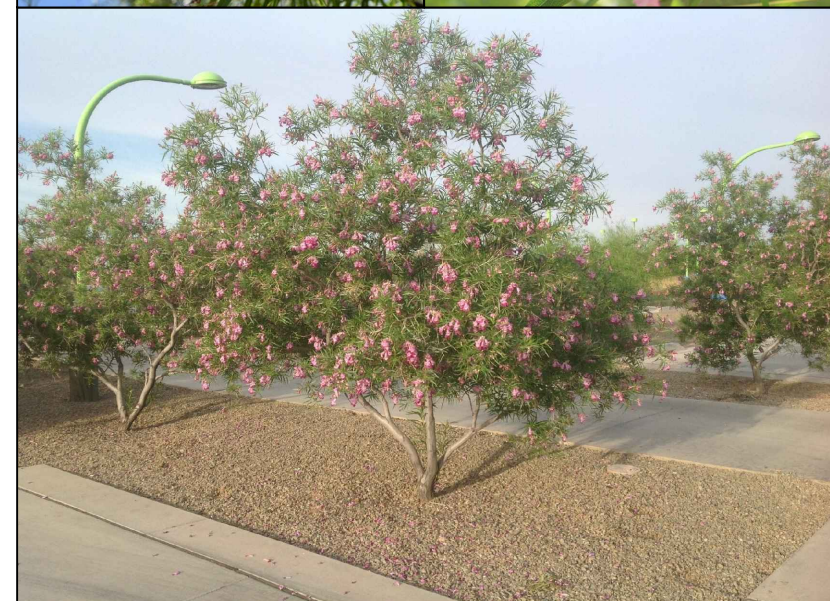
SYMBOL	BOTANICAL NAME DROUGHT TOLERANT TREES	COMMON NAME	SIZE	QUANTITY	HYD/ (WAT HYDR)
	PARKINSONIA x 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24" BOX	2	
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	2	
	CHILOPSIS LINEARIS	DESERT WILLOW	24" BOX	1	
	CUPRESSUS SEMPERVIRENS 'GLAUCA'	ITALIAN CYPRESS	15 GALLON	6	
DROUGHT TOLERANT SHRUBS, ORNAMENTAL GRASSES, SUCCULENTS, AND GROUND COVERS					
	ECHINOPS CANDICANS	PRIDE OF MADEIRA	5 GAL. @ 8' O.C.	2	
	CARPENTERIA CALIFORNICA 'ELIZABETH'	BUSH ANEMONE	5 GAL. @ 6' O.C.	5	
	SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL. @ 5' O.C.	18	
	LEONOTIS LEONURUS AGAVE 'BLUE GLOW'	LIONS TAIL BLUE GLOW AGAVE	5 GAL. @ 5' O.C. 5 GAL. @ 2' O.C.	1,171 S.F. (APPROX. 150 TOTAL)	
	ALOE VERA	MEDICINAL ALOE	5 GAL. @ 2' O.C.		
	BERBERIS REPENS	CREeping BARBERRY	5 GAL. @ 3' O.C.		
	ACHILLEA MILLEFOLIUM ACHILLEA 'MOONSHINE'	COMMON YARROW MOONSHINE YARROW	1 GAL. @ 3' O.C. 1 GAL. @ 3' O.C.		
	ARISTIDA PURPUREA	PURPLE THREE-AWN	1 GAL. @ 2' O.C.		
	ERIGERON GLAUCUS	SEASIDE DAISY	1 GAL. @ 2' O.C.		
	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL. @ 2' O.C.		
	SISYRINCHIUM BELLUM	WESTERN BLUE-EYED GRASS	1 GAL. @ 1' O.C.		
	BOUGAINVILLEA 'BARBARA KARST'	BARBARA KARST BOUGAINVILLEA	15 GAL.	14	



PARKINSONIA x DESERT MUSEUM
DESERT MUSEUM PALO VERDE
FLOWERING ACCENT TREE



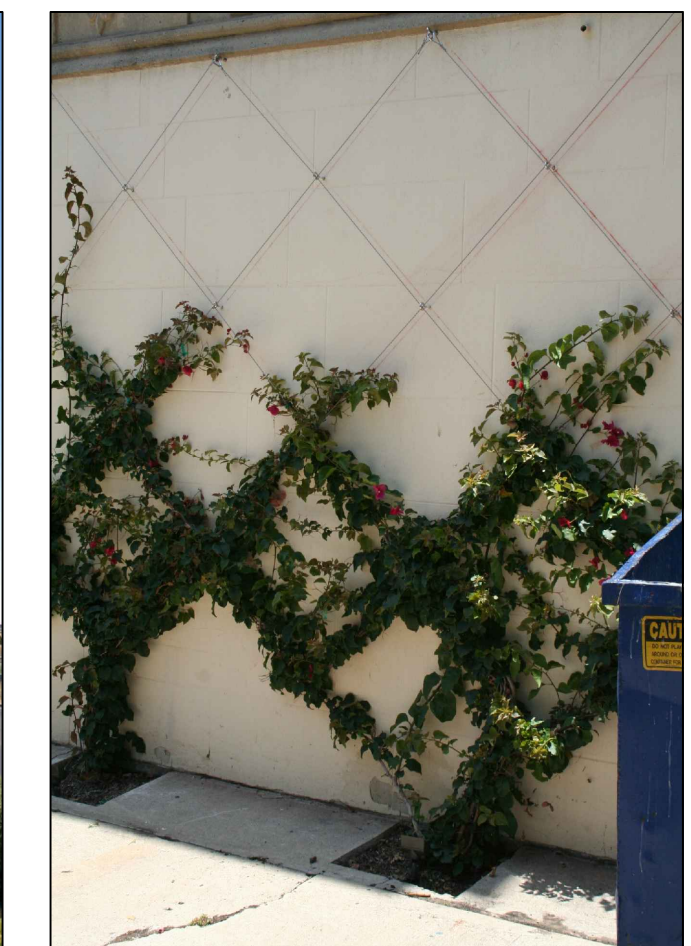
CERCIS OCCIDENTALIS
WESTERN REDBUD
FLOWERING ACCENT TREE



CHILOPSIS LINEARIS
DESERT WILLOW
FLOWERING ACCENT TREE



CUPRESSUS SEMPERVIRENS 'GLAUCA'
ITALIAN CYPRESS
VERTICAL ACCENT



BOUGAINVILLEA 'BARBARA KARST'
BARBARA KARST BOUGAINVILLEA
DIAMOND CABLE TRELLIS VINE



CARPENTERIA CALIFORNICA 'ELIZABETH'
BUSH ANEMONE



AGAVE BLUE GLOW
BLUE GLOW AGAVE



ALOE VERA
MEDICINAL ALOE



ECHINOPS CANDICANS
PRIDE OF MADEIRA



SALVIA CLEVELANDII
CLEVELAND SAGE



LEONOTIS LEONURUS
LION'S TAIL



ACHILLEA MOONSHINE
MOONSHINE YARROW



BERBERIS REPENS
CREeping BARBERRY



ACHILLEA MILLEFOLIUM
COMMON YARROW



ARISTIDA PURPUREA
PURPLE THREE-AWN



ERIGERON GLAUCUS
SEASIDE DAISY



IRIS DOUGLASIANA
DOUGLAS IRIS



SISYRINCHIUM BELLUM
WESTERN BLUE EYED GRASS

L-2 - PRELIMINARY PLANT PALETTE IMAGERY

COSTA MESA TOWNHOMES - 1540 SUPERIOR AVENUE, COSTA MESA, CA

DATE: 11/09/22



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Cimis Data - Station #75 - Irvine - South Coast Valleys Region - as of 05/10/22				
	Monthly Average Eto	Daily Average Eto	Monthly % (Of Total Year)	Monthly % (Of Peak July)
January	2.36	0.076	4.67%	36.53%
February	2.66	0.094	5.27%	41.18%
March	3.84	0.124	7.60%	59.44%
April	4.82	0.161	9.54%	74.61%
May	5.10	0.165	10.10%	78.95%
June	5.78	0.193	11.44%	89.47%
July	6.46	0.208	12.79%	100.00%
August	6.23	0.201	12.33%	96.44%
September	4.80	0.160	9.50%	74.30%
October	3.67	0.118	7.27%	56.81%
November	2.65	0.088	5.25%	41.02%
December	2.14	0.069	4.24%	33.13%
Yearly Total	50.51	0.138	100.00%	N/A

Water Efficient Landscape Worksheet

City of Costa Mesa, CA

Irrigation System 'A'

Maximum Applied Water Allowance

Total MAWA = (ETo x 0.55 x LA in SF x 0.62 + (ETo x 1.0 x SLA in SF x 0.62) = Gallons per Year for LA+SLA

Where:

MAWA = Maximum Applied Water Allowance (gallons per year)
 ETo = Reference Evapotranspiration (Appendix A) (inches per year)
 0.55 = ET Adjustment Factor (ETAF) for Residential Site (Live Work Spaces)
 1.0 = ET Adjustment Factor (ETAF) for Special Landscape Area
 LA = Landscape Area (square feet)
 0.62 = Conversion factor (to gallons per square foot)
 SLA = Special Landscape Area (square feet)
 Billing Unit = 1 Hundred Cubic feet (HCF) or 748 gallons

MAWA Calculation:					
	ETo		ETAF	LA or SLA (SF)	Conversion MAWA (Gallons per Year)
MAWA for LA =	50.51	x	0.55	x 1,973	x 0.62 = 33,983
MAWA for SLA =	50.51	x	1.00	x 0	x 0.62 = 0
Total Area (SF) =				1,973	Total MAWA = 33,983 Gal/Yr.
					= 45 Billing units

PRELIMINARY LANDSCAPE AND IRRIGATION STATEMENT (WELO):

I HAVE COMPLIED WITH THE CRITERIA OF THE LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE PRELIMINARY LANDSCAPE PLAN. THE NEW IRRIGATION SYSTEM IS TO UTILIZE A 'SMART' IRRIGATION CONTROLLER WITH A NEW WEATHER SENSOR AND NEW DEDICATED IRRIGATION SUB-METER WITH FLOW SENSING. SHRUBS WILL BE IRRIGATED WITH SUB-SURFACE DRIP LINE TUBING AND POINT TO POINT EMITTERS ON DEDICATED CONTROL VALVES WITH PRESSURE REGULATORS AND DRIP FILTERS. POINT TO POINT DRIP EMITTERS WILL BE USED WHERE NECESSARY FOR LARGER SHRUBS, VINES AND TREES. TREES AND VINES WILL BE PROVIDED WITH DEDICATED CONTROL VALVES WITH 2 LOW FLOW BUBBLERS EACH FOR MONTHLY DEEP ROOT WATERING.

PROPOSED NEW IRRIGATION EQUIPMENT:

NEW IRRIGATION-ONLY SUB-METER WITH FLOW SENSING AND MASTER VALVE - HC-FLOW METER (HUNTER) / 3100PRS (SUPERIOR)
 NEW IRRIGATION SUB-SURFACE DRIPLINE SYSTEM - GPH HEAVY WALL DRIPLINE AND DRIP ACCESSORIES (GPH)
 NEW IRRIGATION SUB-SURFACE BUBBLERS - ROOT ZONE WATERING SYSTEM (HUNTER)
 NEW IRRIGATION SUB-SURFACE POINT TO POINT DRIP SYSTEM WITH PRESSURE REGULATING EMITTERS AND BUG CAPS
 NEW IRRIGATION CONTROL VALVES - SUPERIOR 810 (DRIP) AND 950 (BUBBLER) BRASS VALVES WITH PRESSURE REGULATION AND FILTRATION
 NEW IRRIGATION ACCESSORIES - IRRIGATION VALVES FOR DRIP AND BUBBLER SYSTEMS SHALL INCLUDE 150 MESH STAINLESS STEEL FILTERS
 NEW IRRIGATION CONTROLLER - HUNTER PRO-HC 'SMART' CONTROLLER WITH WIRELESS WEATHER SENSOR AND FLOW MONITORING
 NEW IRRIGATION GATE VALVES - NIBCO T-113 BRASS GATE VALVES FOR PARTIAL OR COMPLETE SYSTEM SHUTDOWN

Estimated Total Water Use										Irrigation System 'A'																			
KI = Landscape Coefficient (Plant Factor)					LA = Landscape Area (square feet)					0.62 = Conversion factor (gallons/ square foot)					IE = Irrigation Efficiency = IME x DU					Kd = Density Factor (range = 0.5 to 1.3) (See WUCOLS for density ranges)					Kmc = Microclimate Factor (range = 0.5 to 1.4) (See WUCOLS)				
IME = Irrigation Management Efficiency (90%)					DU = Distribution Uniformity of Irrigation head					ETAF = KI x LA (ET Adjustment Factor)					WUCOLS - www.owue.water.ca.gov/docs/wucols00.pdf														
ETWU Calculation: ETo x KI x LA in SF x 0.62 = Gallons per Year																													
ETo		SLA		Conversion		ETWU (Gallons Per Year)																							
SLA / Special Landscape Area - Turf		50.51		x		0		x		0.62		=								0									
(ETAF)																													
ETo		KI		LA		Conversion		IE		ETWU (Gallons Per Year)																			
L-2 \ Low Water Using Shrubs		50.51		x 0.25		x 1,973		x 0.62		÷ 0.81		=		19,070															
L-1 \ Low Water Using Trees (11)		50.51		x 0.25		x 176		x 0.62		÷ 0.81		=		1,701															
L-3 \ Low Water Using Vines (14)		50.51		x 0.25		x 224		x 0.62		÷ 0.81		=		2,165															
Total ETWU =										22,936 Gallons per year																			
										31 Billing units																			

SUMMARY

The ETWU (22,936 gallons per year) is less than the MAWA (33,983 gallons per year), (67.4.0%)
 The project's Landscape Estimated Total Water Use complies with the City of Costa Mesa Water Efficient Landscape Ordinance
 *Trees / Vines are assigned 16 s.f. per Plant and are calculated in addition to the project MAWA landscape area of coverage

Sprinkler Head Types	Average Precipitation Rate	Distribution Uniformity of Irrigation Head
Dripline	0.60"/Hr.	0.90
Flood Bubbler	1.5"/Hr.	0.90

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	732.41
Total Area	2,373.00
Average ETAF	0.31
All Landscape Areas	
Total ETAF x Area	732.41
Total Area	2,373.00
Sitewide ETAF	0.31

L-3 - PRELIMINARY IRRIGATION CALCULATIONS AND STATEMENTS

COSTA MESA TOWNHOMES - 1540 SUPERIOR AVENUE, COSTA MESA, CA

DATE: 11/09/22



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